



DEVELOPMENT PERMIT NO. DP001307

NA-924 OVR GP LTD., INC. NO. BC1359165
Name of Owner(s) of Land (Permittee)

924 OLD VICTORIA ROAD
Civic Address

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all buildings, structures and other developments thereon:

Legal Description:

**BLOCK C, SECTION 1, NANAIMO DISTRICT, PLAN 1748, EXCEPT THOSE PARTS INCLUDED WITHIN PLANS 1121R AND 1140R, AND EXCEPT THAT PART BOUNDED ON THE NORTH BY THE SOUTHERLY BOUNDARY OF SAID PLAN 1121R; ON THE SOUTH BY THE NORTHERLY BOUNDARY OF SAID PLAN 1140R; ON THE WEST BY THE EASTERLY BOUNDARY OF NICOL STREET; AND ON EAST BY THE WESTERLY BOUNDARY OF ALEXANDRA STREET, AND EXCEPT THOSE PARTS IN PLAN 32452 AND 32980
PID No. 006-166-857**

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

Schedule A Subject Property Map
Schedule B Site and Parking Plans
Schedule C Building Elevations and Details
Schedule D Landscape Plan and Details

4. If the landowner does not substantially start any construction with respect to which this permit was issued within two years after the date it was issued, the permit lapses.

5. This permit is not a building permit, nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.
6. This permit prevails over the provisions of the bylaw in the event of conflict.

TERMS OF PERMIT

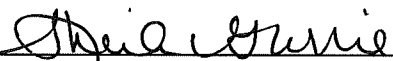
The "City of Nanaimo Zoning Bylaw 2011 No. 4500" is varied as follows:

1. Section 6.10.5 Fence Height – to increase the maximum permitted height of a retaining wall outside a required yard setback from 3.0m up to 7.34m as shown on Schedule C & D.
2. Section 13.6.1 Size of Buildings – to increase the maximum permitted height of a principal building (Building 4) from 12.0m up to 16.5m as shown on Schedule C.

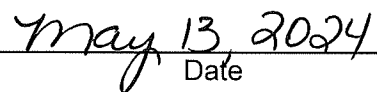
CONDITIONS OF PERMIT

1. The subject property shall be developed generally in accordance with the Site and Parking Plans, prepared by Larry Podhora Architecture Inc., dated 2023-DEC-15, as shown on Schedule B.
2. The subject property shall be developed in substantial compliance with the Building Elevations and Details, prepared by Larry Podhora Architecture Inc., dated 2023-DEC-15, as shown on Schedule C.
3. The subject property shall be developed in substantial compliance with the Landscape Plan and Details prepared by KD Planning & Design Ltd., dated 2024-MAR-20 & 2023-DEC-08, as shown on Schedule D.
4. Registration of a Statutory Right-of-Way (SRW) for corner rounding with a radius of 6.0m at the intersection of Old Victoria Road and Eighth Street.
5. The subject property shall be developed in accordance with the recommendations contained within the Wildfire Hazard Assessment prepared by Strathcona Forestry Consulting, dated 2023-JAN-24.

AUTHORIZING RESOLUTION PASSED BY COUNCIL THE 6TH DAY OF MAY, 2024.



Corporate Officer
Sheila Gurrie
Corporate Officer
City of Nanaimo

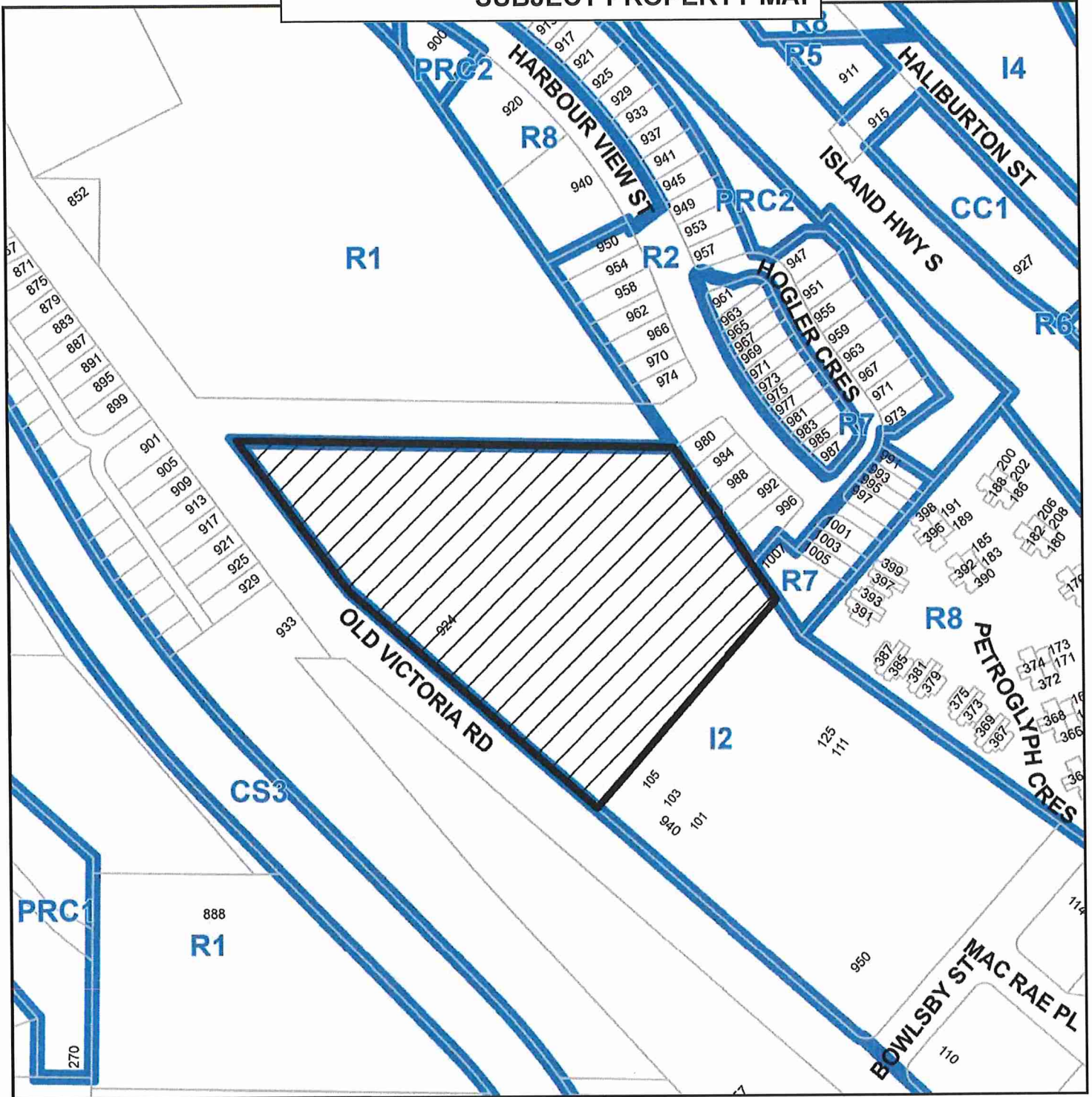


Date

KM/bm

Prospero attachment: DP001307

SUBJECT PROPERTY MAP



 924 Old Victoria Road

Development Permit No. DP001307 Schedule B
 924 Old Victoria Road
SITE AND PARKING PLANS



PROPERTY INFORMATION:
 CIVIC ADDRESS: 924 OLD VICTORIA ROAD, NANAIMO, BC
 PID: 009-188-037
 LEGAL ADDRESS: MP 17 48 BLOC C
 SITE AREA: 257,807.63 sq. ft. (23,823.24 sq. m.)
 ZONING: I2 - LIGHT INDUSTRIAL

I2 - LIGHT INDUSTRIAL ZONING REVIEW:

SITE SETBACKS:
 FRONT LOT LINE: -7.2m
 FRONT LOT LINE WHERE LANDSCAPED BETWEEN BUILDING: +0.4m
 REAR LOT LINE: -4.5m
 PLANNING SIDE YARD: -4.5m
 SIDE YARD NO. 2: -5.9m

LOT COVERAGE:
 MAXIMUM 40% OR 102,803 sq. ft.
 PROPOSED 29.8% OR 102,858 sq. ft.
 ADDITIONAL 10% LOT COVERAGE AVAILABLE WHERE DEVELOPMENT PROVIDES SUFFICIENT AMENITY TO MEET MINIMUM REQUIRED POINTS FOR ONE OF THE CATEGORIES IN SCHEDULE D OF THE BYLAW

BUILDING HEIGHT: MAXIMUM 12.0m

GROSS FLOOR AREA:

BUILDING 1:	MAIN FLOOR	4,890	sq. ft.
	MEZZANINE ALLOW. (FPM)	973	sq. ft.
BUILDING 2:	MAIN FLOOR	30,534	sq. ft.
	MEZZANINE ALLOW. (FPM)	9,496	sq. ft.
BUILDING 3:	MAIN FLOOR	45,074	sq. ft.
	MEZZANINE ALLOW. (FPM)	8,113	sq. ft.
INDUSTRIAL SITE - TOTAL GROSS FLOOR AREA		84,442	sq. ft.
BUILDING 4:	MAIN FLOOR	22,500	sq. ft.
	SECOND FLOOR	22,500	sq. ft.
	THIRD FLOOR	22,500	sq. ft.
	FOURTH FLOOR	22,500	sq. ft.
GA - TOTAL GROSS FLOOR AREA		80,000	sq. ft.
TOTAL GROSS FLOOR AREA		164,442	sq. ft.

BICYCLE PARKING CALCULATIONS - BYLAW 2194 SECTION 7.1:

BICYCLE PARKING REQUIREMENTS:
 SHORT TERM: NONE REQUIRED
 LONG TERM: 6.1 FEET SPACES PER 160m² (1,078 sq. ft.) OF GFA

BICYCLE PARKING CALCULATIONS:
 SHORT TERM: 0 PROVIDED
 LONG TERM: 16,840 sq. ft. / 1,078 sq. ft. x 6.1 = 95 (17,118) PROVIDED

OFF-STREET PARKING REVIEW - BYLAW 2194 NO. 7241:

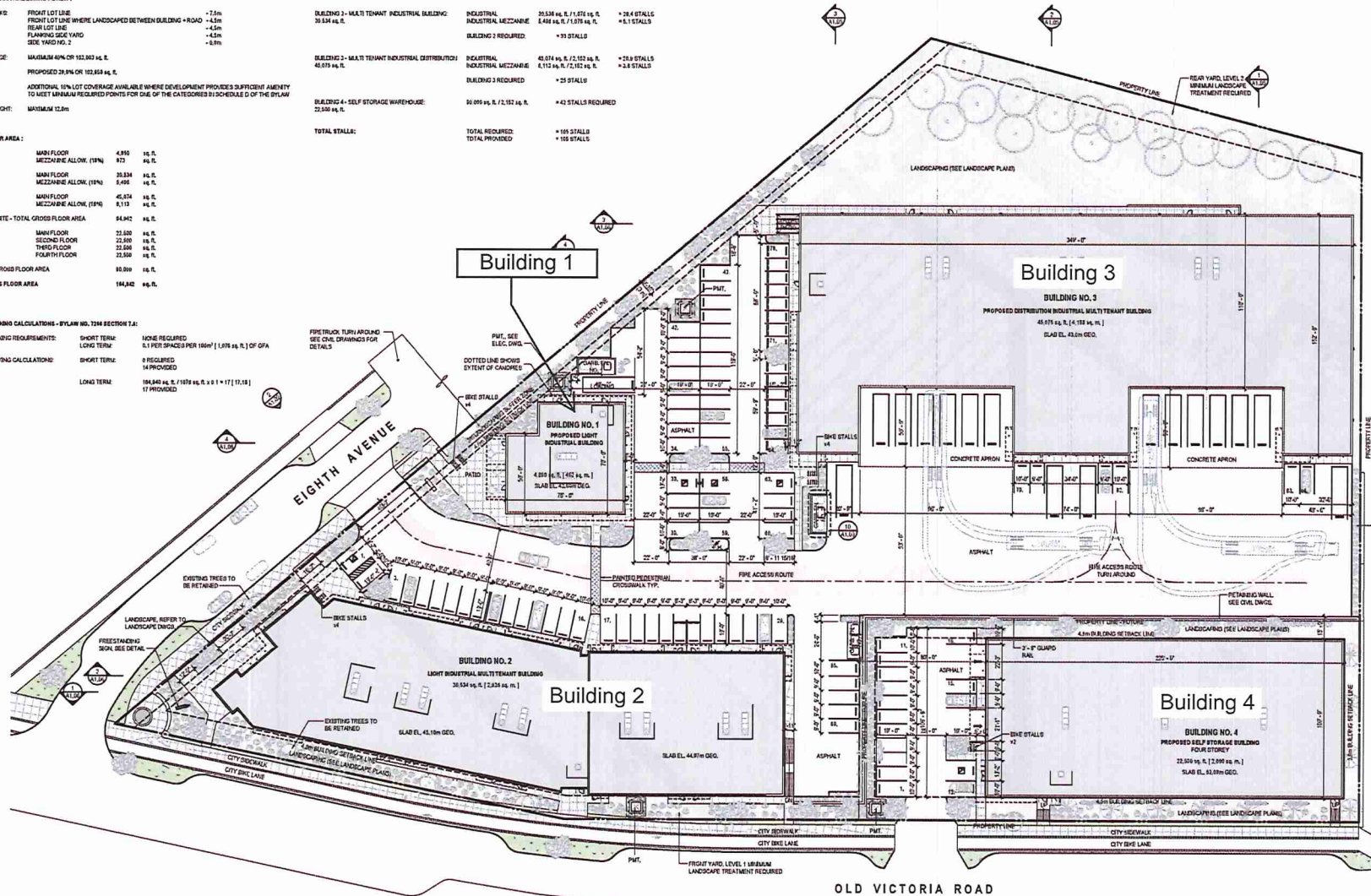
LIGHT INDUSTRIAL: 1 STALL PER 105 sq. m. (1,078 sq. ft.) GROSS FLOOR AREA REQUIRED
WAREHOUSING / STORAGE: 1 STALL PER 200 sq. m. (2,157 sq. ft.) GROSS FLOOR AREA REQUIRED

OFF-STREET PARKING CALCULATIONS:

BUILDING 1 - LIGHT INDUSTRIAL BUILDING	INDUSTRIAL	4,890 sq. ft. / 1,078 sq. ft.	= 4.5 STALLS
	INDUSTRIAL MEZZANINE	973 sq. ft. / 1,078 sq. ft.	= 0.9 STALLS
	TOTAL STALLS REQUIRED:		= 5.4 STALLS
BUILDING 2 - MULTI TENANT INDUSTRIAL BUILDING	INDUSTRIAL	30,534 sq. ft. / 1,078 sq. ft.	= 28.4 STALLS
	INDUSTRIAL MEZZANINE	9,496 sq. ft. / 1,078 sq. ft.	= 8.8 STALLS
	BUILDING 2 REQUIRED:		= 37.2 STALLS
BUILDING 3 - MULTI TENANT INDUSTRIAL DISTRIBUTION	INDUSTRIAL	45,074 sq. ft. / 1,078 sq. ft.	= 41.8 STALLS
	INDUSTRIAL MEZZANINE	8,113 sq. ft. / 1,078 sq. ft.	= 7.6 STALLS
	BUILDING 3 REQUIRED:		= 49.4 STALLS
BUILDING 4 - SELF STORAGE WAREHOUSE		80,000 sq. ft. / 2,157 sq. ft.	= 37.1 STALLS
	TOTAL STALLS:		= 139.9 STALLS
	TOTAL REQUIRED:		= 139.9 STALLS
	TOTAL PROVIDED:		= 139.9 STALLS

OFF-STREET PARKING DESIGN REQUIREMENTS - BYLAW 2194 NO. 7241:

STANDARD PARKING STALL BY DECREE: 2.75m (9'-2") x 5.05m (16'-7")
SMALL CAR PARKING STALL: 2.30m (7'-7") x 4.85m (15'-9")
 MAXIMUM 40% OF REQUIRED PARKING MAY BE SMALL CAR
TWO-WAY DRIVE AISLE: 6.70m (22'-0")



PRELIMINARY
 NOT FOR CONSTRUCTION

This drawing has been prepared for the use of the CLIENT and there are no representations of any kind made by KRAHN ARCHITECTURE INC. to any party with whom KRAHN ARCHITECTURE INC. has not entered into a contract. This drawing shall not be used for construction purposes until it is accepted for the project.

3 2023.02.12 Rechecked by DP
 2 2023.02.14 Inspected for Final
 1 2023.02.24 Inspected for DP
 N/A DATE, NAME, DESCRIPTION
 RULES AND REVISIONS
 SEAL



larry podhora | architecture inc

PROJECT NAME:
 OVR INDUSTRIAL DEVELOPMENT

PROJECT ADDRESS:
 924 OLD VICTORIA ROAD
 NANAIMO BC

DRAWING TITLE:
 OVERALL SITE PLAN +
 PROJECT INFORMATION

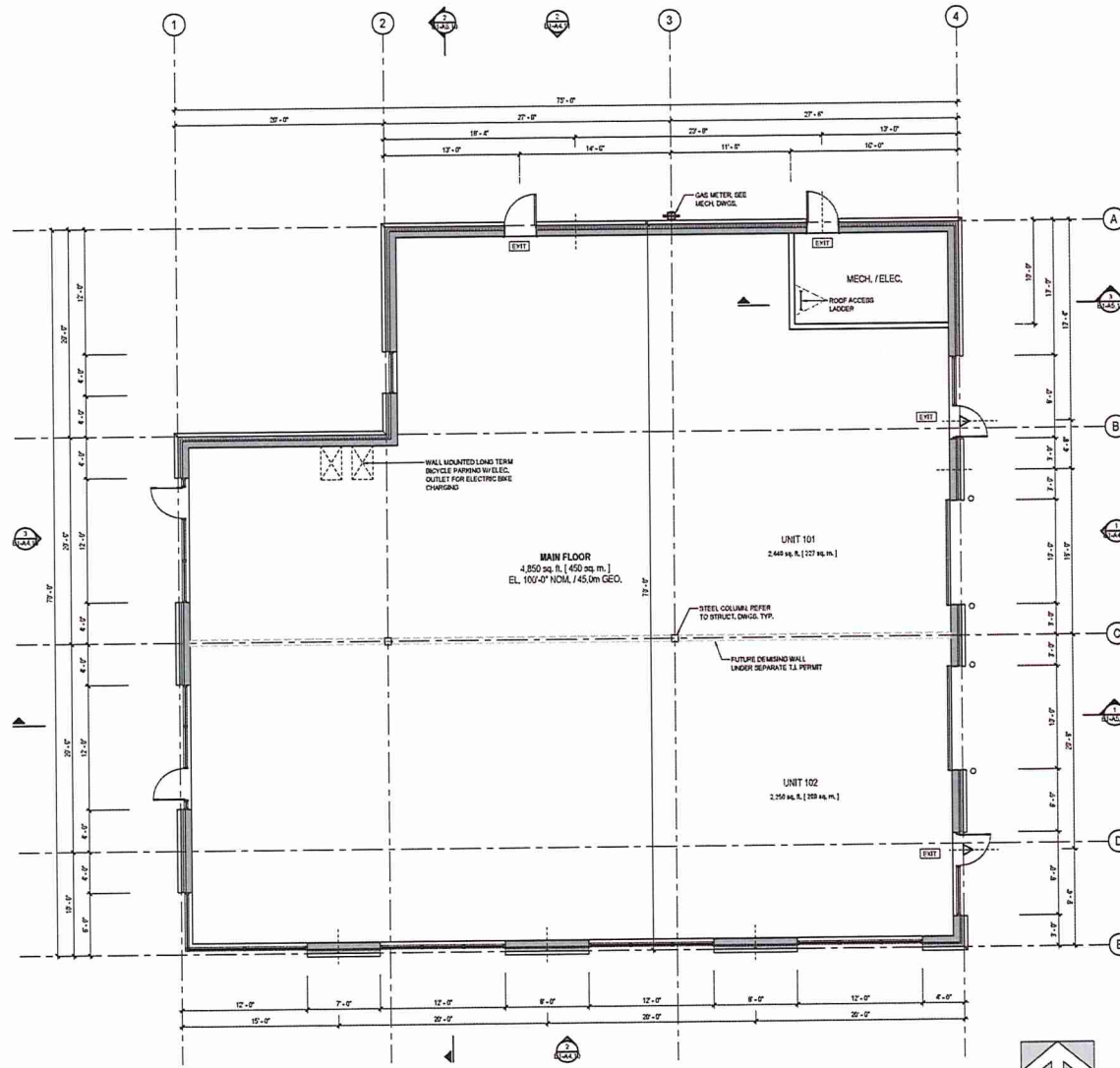
SCALE: 1" = 30'-0"
DRAWN:
RECHECKED:
PROJECT NO.: 220135
DRAWING NO.:



RECEIVED
 DP1307
 2024-MAR-28
 2024

A1.01

1 SITE PLAN
 SCALE: 1" = 30'-0"



1 MAIN FLOOR PLAN
SCALE: 3/16" = 1'-0"



PRELIMINARY
NOT FOR CONSTRUCTION

This drawing has been prepared solely for the use of the CLIENT and there are no representations of any kind made by the ARCHITECTURAL ARCHITECTURE INC. to any party with respect to the PROJECT. ARCHITECTURE INC. has not intended to be a contract. This drawing shall not be used for construction purposes and is issued for the purpose.

C	2023.12.15	Reviewed by DP
B	2023.12.04	Issued for Review
A	2023.03.24	Issued for DP
NO.	DATE	DESCRIPTION
REVISED AND REVISIONS		
SFA		



larry podhora | architecture inc
LAWYER/ARCHITECT/REGISTERED PROFESSIONAL

PROJECT NAME
OVR INDUSTRIAL DEVELOPMENT

PROJECT ADDRESS
524 OLD VICTORIA ROAD
NANAIMO, BC

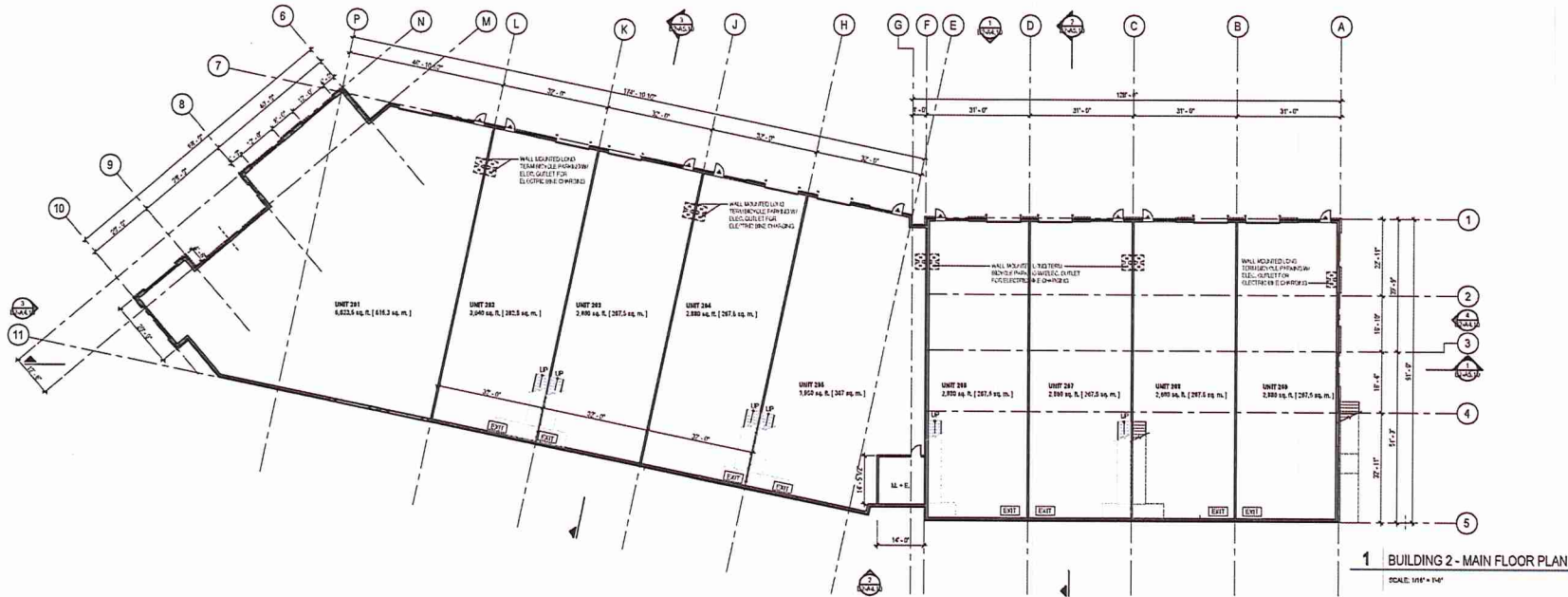
DRAWING TITLE
BUILDING 1 - FLOOR PLAN

SCALE	3/16" = 1'-0"
DRAWN	
REVIEWED	
PROJECT NO.	19055
DRAWING NO.	

RECEIVED
DP1307
2024-MAR-28
CURRENT PLANNING

B1-A2.01

DRAWING NO. B1-A2.01
 PROJECT NO. 19055
 DATE: 2024-03-28
 SCALE: 3/16" = 1'-0"



PRELIMINARY
NOT FOR CONSTRUCTION

This drawing has been prepared solely for the use of the CLIENT and there is no representation of any kind made by LARRY PODHORA ARCHITECTURE INC. to any party other than LARRY PODHORA ARCHITECTURE INC. This drawing shall not be used for construction purposes until it is revised for the purpose.

C 2023.12.18 Checked by DP
B 2024.02.04 Revised for Review
E 2024.03.28 Issued for DP
101 DATE PLOTTED: 2024.03.28

RULES AND REVISIONS

SEA



larry podhora | architecture inc
1471 ST. GEORGE ST. SUITE 100 TORONTO, ONT. M5S 1A5

PROJECT NAME:
OVR INDUSTRIAL DEVELOPMENT

PROJECT ADDRESS:
524 OLD VICTORIA ROAD
NAWAMING BC

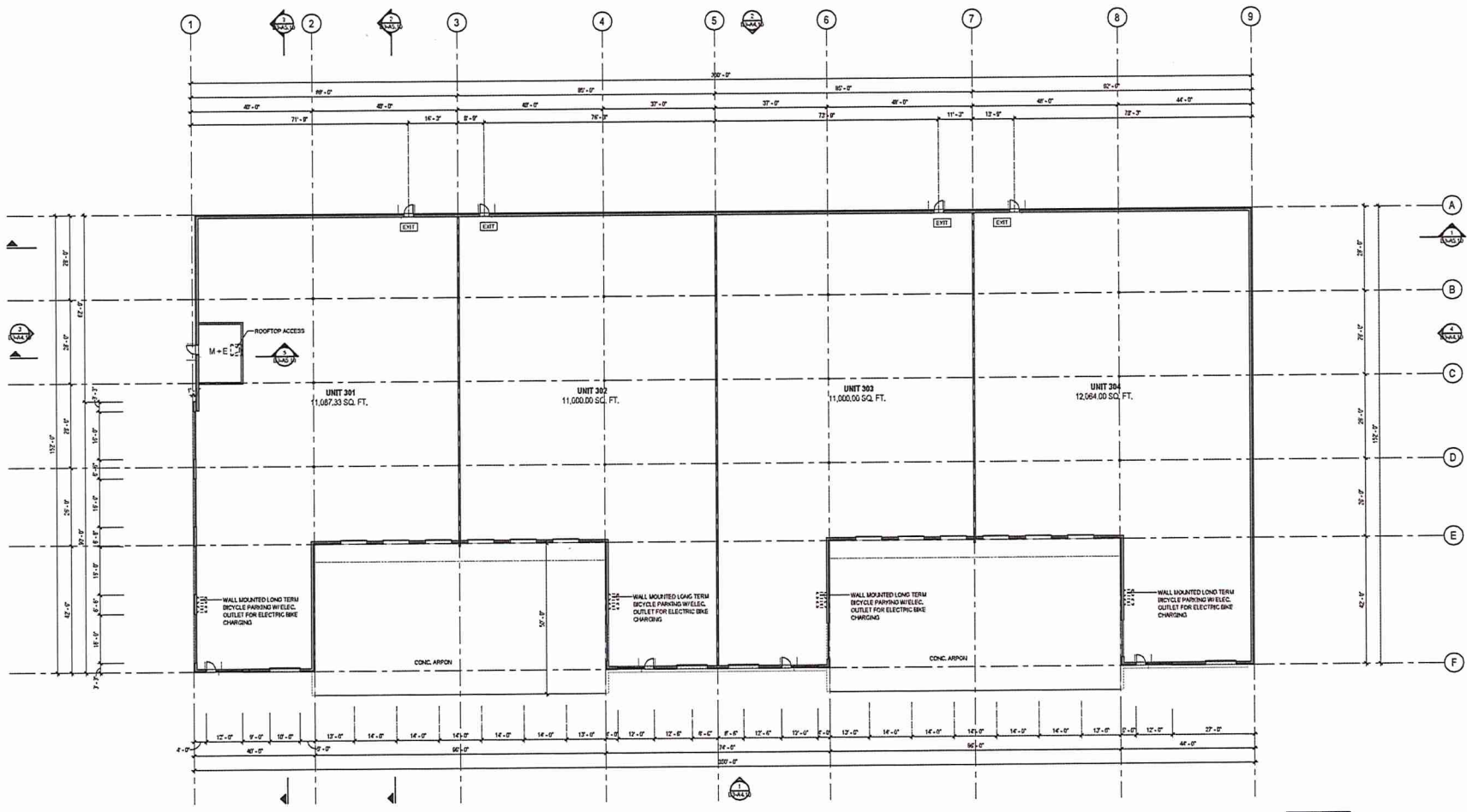
DRAWING TITLE:
BUILDING 2 FLOOR PLANS

SCALE: 1/8" = 1'-0"
DRAWN:
REVIEWED:
PROJECT NO.: 2304000
DRAWING NO.:



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DP1307
2024-MAR-28
COURTNEY PLANNING

B2-A2.01



PRELIMINARY
NOT FOR CONSTRUCTION

The drawing has been prepared solely for the use of the CLIENT and there are no representations made hereon by LARRY PODHORA | ARCHITECTURE INC. in any way with respect to any PROVISIONS OF THE BC BUILDING ACT, nor intended as a contract. This drawing shall not be used for construction purposes until it is issued for the project.

C	2023.12.15	Revised for DP
B	2023.12.04	Issued for Review
A	2023.03.24	Issued for DP
REV.	DATE	DESCRIPTION
SCHEDULE AND REVISIONS		
SCALE		



larry podhora | architecture inc.
101-11007770 ST. JOHN'S ROAD, VANCOUVER, BC V6P 1S1

PROJECT NAME
OVR INDUSTRIAL DEVELOPMENT

PROJECT ADDRESS
524 OLD VICTORIA ROAD
NANAIMO BC

DRAWING TITLE
BUILDING 3 - MAIN FLOOR PLAN

SCALE	1/8" = 1'-0"
DRAWN	
REVIEWED	
PROJECT NO.	23026
DRAWING NO.	

1 BUILDING 3 - MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0"



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DP1307
2024-MAR-28
Critical Planning

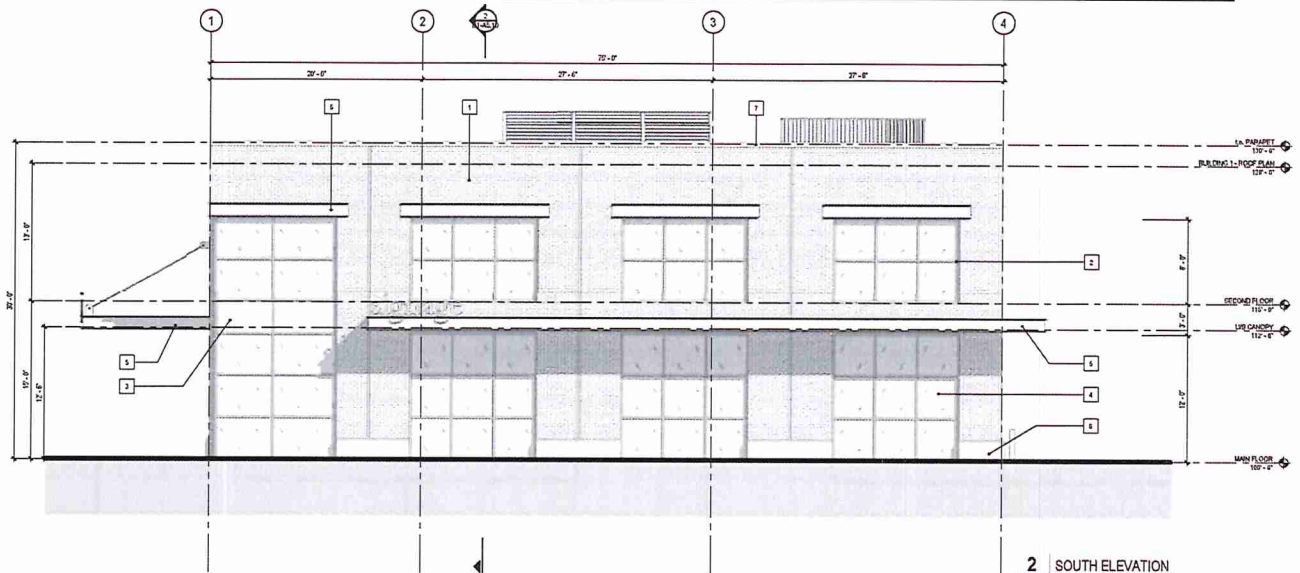
B3-A2.01

Development Permit No. DP001307 Schedule C
 924 Old Victoria Road
BUILDING ELEVATIONS AND DETAILS

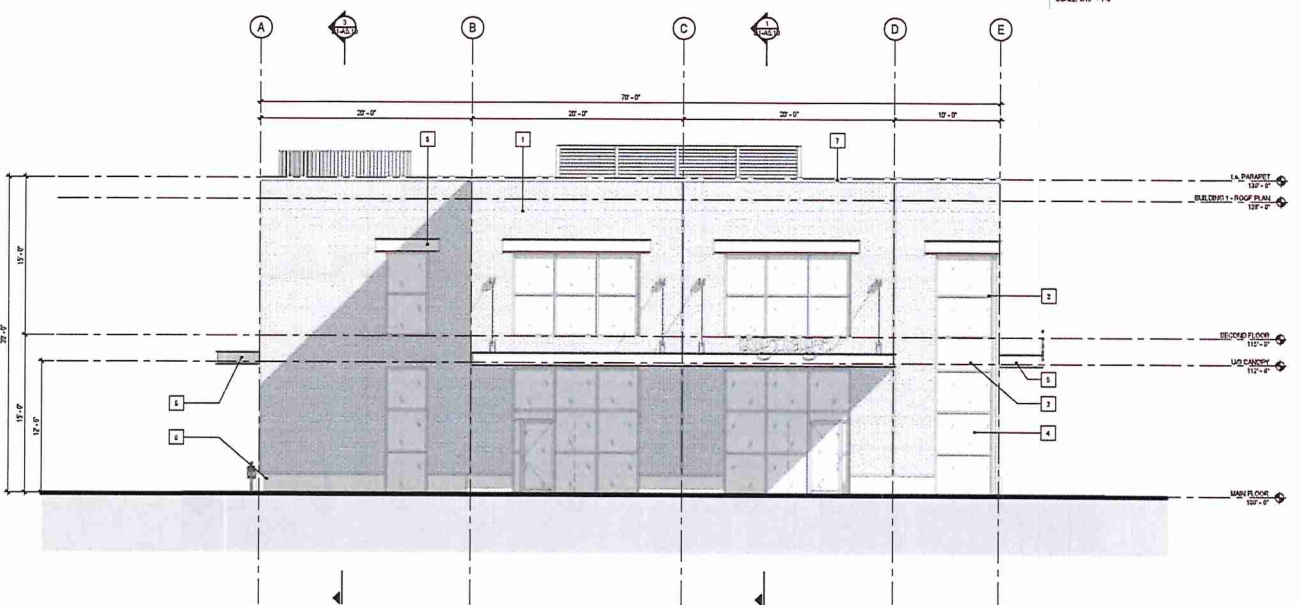
MATERIAL LEGEND

1. THRU-DIECAST TILT-UP CONCRETE - GRANITELLE POLYMERFINISH
2. GLAZING FRAMING
3. SPANDREL METAL PANEL
4. GLAZING
5. ARCHITECTURAL STEEL C-CHANNEL
6. CONCRETE BASE TRIM
7. MANSARD CAP
8. STEEL DOOR PAINTED - GAL. 1669

SEE DIMS. ALSO PROJECT MATERIAL SCHEDULE FOR DETAILS.



2 SOUTH ELEVATION
 SCALE: 3/16" = 1'-0"



3 WEST ELEVATION
 SCALE: 3/16" = 1'-0"

(Facing Eighth Street)

PRELIMINARY
 NOT FOR CONSTRUCTION

This drawing has been prepared solely for the use of the CLIENT and there are no representations or warranties made by LARRY PODHORA ARCHITECTURE INC. in any way with respect to the accuracy of the information shown hereon. LARRY PODHORA ARCHITECTURE INC. has not performed a site visit. This drawing shall not be used for construction purposes until it is sealed for the purpose.

C	2023.12.15	Reviewed by OP
D	2024.12.04	Placed for Review
E	2024.03.28	Issued for DP
ED.	DATE	SCALE/REVISION
ISSUES AND REVISIONS		
SCALE		



larry podhora | architecture inc
 5471 WILSON BOULEVARD, SUITE 100, VANCOUVER, BC V6H 2G6

PROJECT NAME
 OVR INDUSTRIAL DEVELOPMENT

PROJECT ADDRESS
 924 OLD VICTORIA ROAD
 VANCOUVER, BC

DRAWING TITLE
 BUILDING 1 ELEVATIONS

SCALE	3/16" = 1'-0"
DATE	2024.03.28
DESIGNED	HP
CHECKED	HP
REVIEWED	HP
PROJECT NO.	240225
DRAWING NO.	B1-A4.10

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DP1307
2024-MAR-28
 Current Planning

B1-A4.10

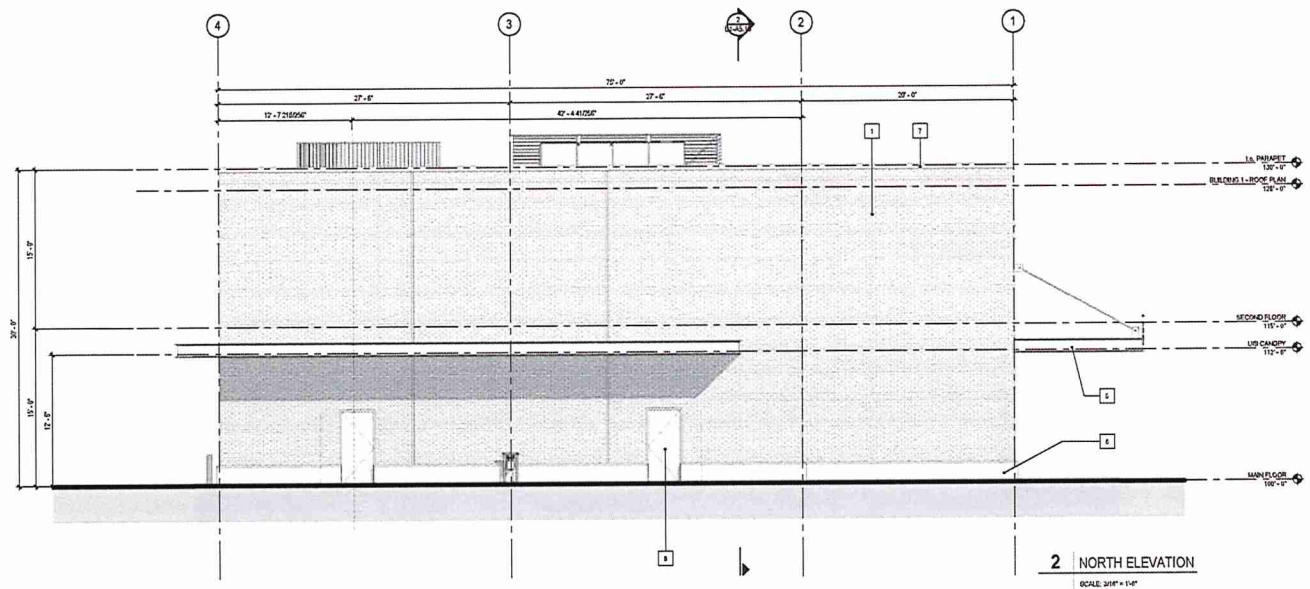
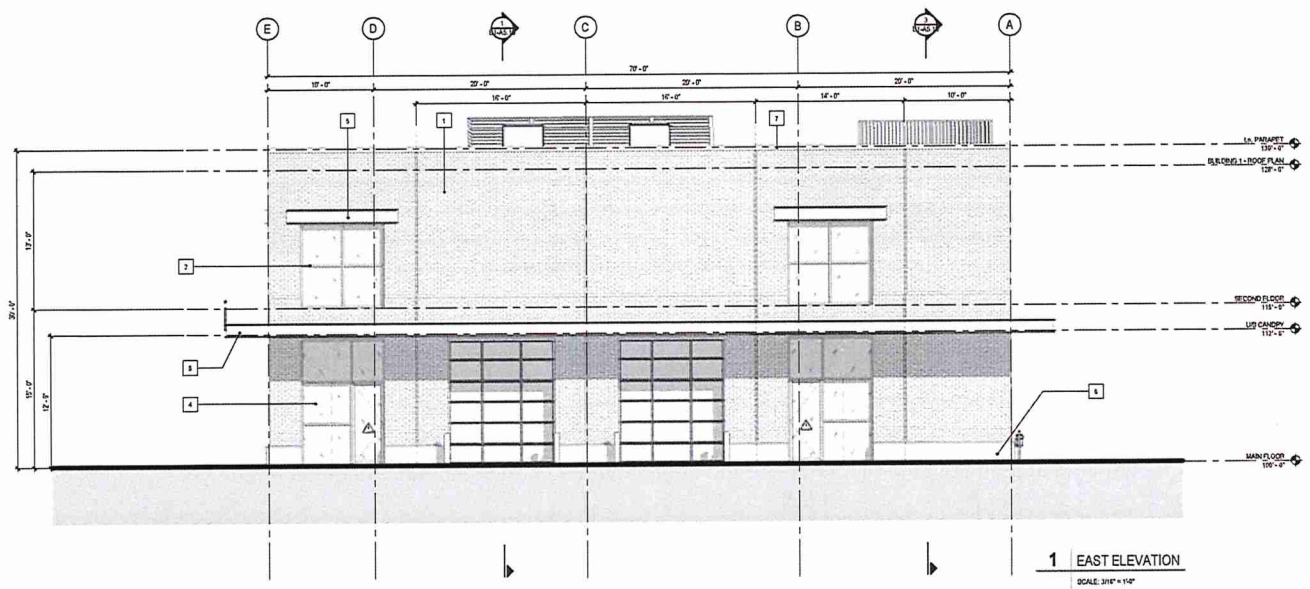
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MATERIAL LEGEND

1. THICKENED, TILT-UP CONCRETE - SLAB/WALLS/PAVEMENT
2. GLAZING FRAMES
3. GRANULES METAL PANEL
4. GLAZING
5. ARCHITECTURAL STEEL C + CHANNEL
6. CONCRETE BASE TRIM
7. PARAPET CAP
8. STEEL DOOR

SEE O.G. ASB PROJECT MATERIAL BOARD FOR DETAILS



PRELIMINARY
NOT FOR CONSTRUCTION

This drawing has not been prepared solely for the use of the client and there are no representations or warranties made by LARRY PEDHORA | ARCHITECTURE INC. in any form with respect to this drawing. LARRY PEDHORA | ARCHITECTURE INC. has not performed due diligence. This drawing shall not be used for construction purposes until it is revised for the purpose.

C	2023.12.19	Revised by DP
B	2023.12.14	Issued by Review
A	2023.10.24	Issued by DP
NO.	DATE	REVISION
TITLE AND REVISIONS		
SCALE		



larry pedhora | architecture inc.
1000 HWY 10 EAST, SUITE 200, ABBOTSFORD, BC V3G 2V4

PROJECT NAME
OVR INDUSTRIAL DEVELOPMENT

PROJECT ADDRESS
524 OLD VICTORIA ROAD
NANAIMO, BC

DRAWING TITLE
BUILDING 1 ELEVATIONS

SCALE	3/8" = 1'-0"
DRAWN	
REVIEWED	
PROJECT NO.	24025
DRAWING NO.	B1-A4.11

RECEIVED
DP1307
2024-MAR-28
Current Planning

1000 HWY 10 EAST, SUITE 200, ABBOTSFORD, BC V3G 2V4
 TEL: (604) 851-1111 FAX: (604) 851-1112

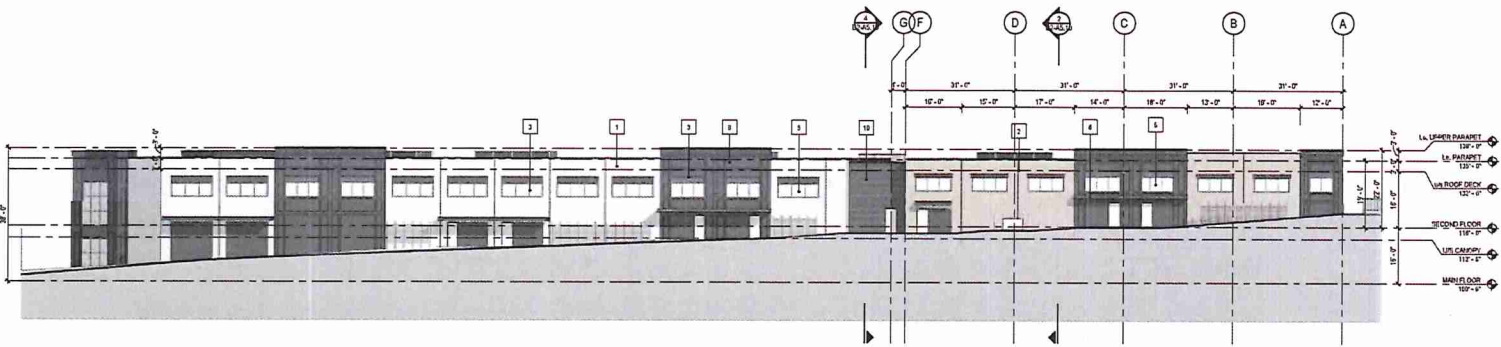


MATERIAL LEGEND

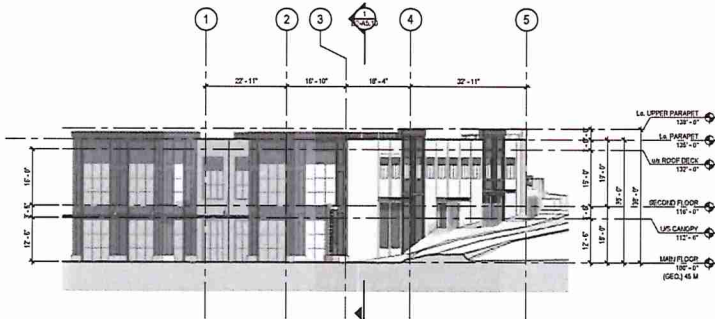
1. BRICK FORMER TILT CONCRETE - 4M, 20/21
2. BRICK FORMER TILT CONCRETE - 10M, 10/20
3. CLADDING FRAMING
4. WAPANEL ALUMINUM PANEL
5. CLADDING
6. STEEL C-CHANNEL
7. CONCRETE DAUSE TRIM
8. TILT PANEL WITH 24" DEPRESSION - 1M, 10/23
9. PARAPET CAP
10. CORRUGATED FORMER TILT CONCRETE - PAINTED 1M, 10/23

SEE ALSO PROJECT MATERIAL BOARD FOR DETAILS

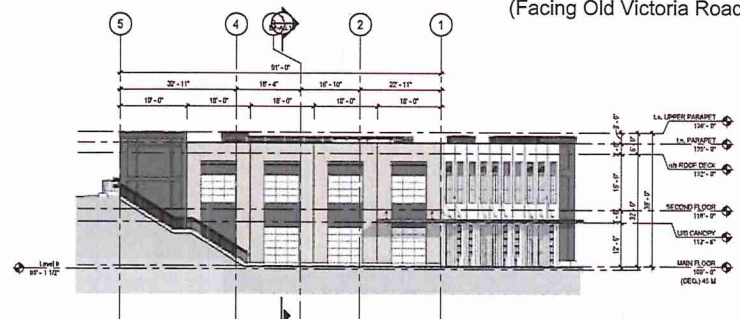
1 BUILDING 2 - NORTH ELEVATION
SCALE 1/8" = 1'-0"



2 BUILDING 2 - SOUTH ELEVATION
SCALE 1/8" = 1'-0"



3 BUILDING 2 - WEST ELEVATION
SCALE 1/8" = 1'-0"
(Facing Eighth Street)



4 BUILDING 2 - EAST ELEVATION
SCALE 1/8" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

The drawings herein represent a preliminary design for the client and shall not be used for construction. The drawings shall not be used for construction purposes until a final design is issued for construction purposes and it is noted for the purpose.

C	2023.12.15	Finalized by DP
B	2023.12.24	Revised by DP
A	2023.12.24	Issued for DP
100% DATE PLOTTED: 2024.03.28		
PROJECT NAME: B2-A4.10		
PROJECT ADDRESS: 504 OLD VICTORIA ROAD, NAWMOMO BC		
DRAWING TITLE: BUILDING 2 ELEVATIONS		
SCALE: 1/8" = 1'-0"		
DRAWING NO: DP1307		
PROJECT NO: 228888		
DRAWING NO: B2-A4.10		



larry podhara | architecture inc
1471 - 45th Street SW, North Vancouver, BC V4L 1C1

PROJECT NAME:
OVR INDUSTRIAL DEVELOPMENT

PROJECT ADDRESS:
504 OLD VICTORIA ROAD
NAWMOMO BC

DRAWING TITLE:
BUILDING 2 ELEVATIONS

SCALE: 1/8" = 1'-0"
DRAWING NO: DP1307
PROJECT NO: 228888
DRAWING NO: B2-A4.10

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DP1307
2024-MAR-28
ARCHITECT PLANNING

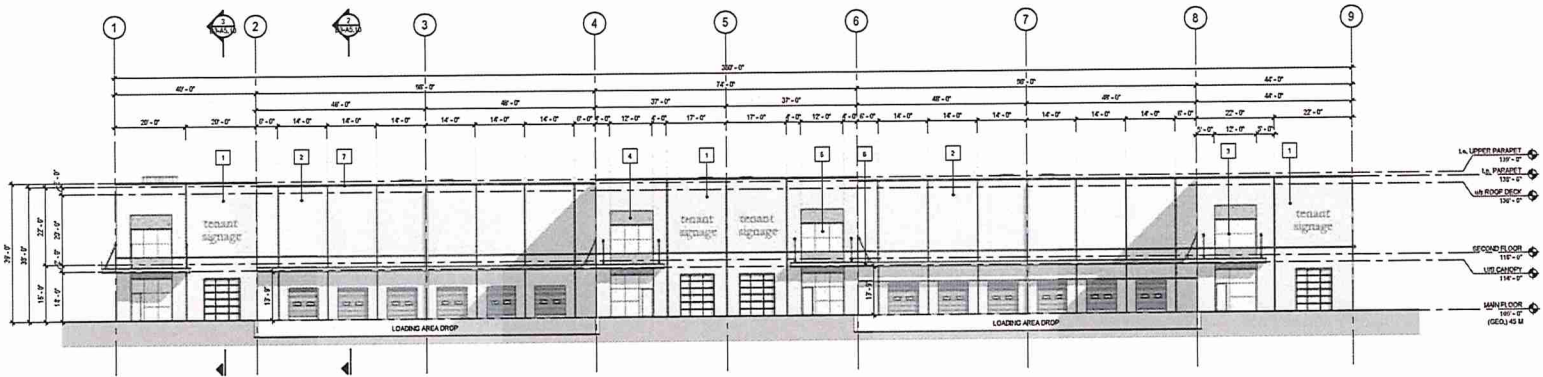
B2-A4.10



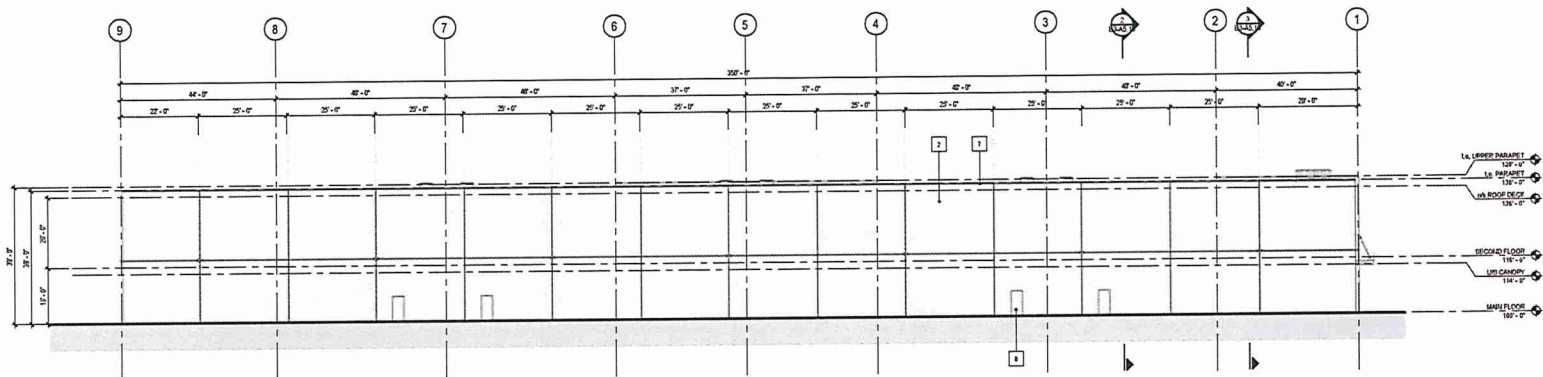
MATERIAL LEGEND

1. BRICK FORMER TILT CONCRETE - DIM. CIP-400
2. FAINTED TILT CONCRETE - DIM. CIP-205
3. GLAZING FRAMED
4. CONCRETE LEVEL 3/4" DEPRESSION
5. GLAZING
6. STEEL C-CHANNEL
7. PARAPET CAP
8. BLACK PAINTED STEEL DOOR - DIM. 1418

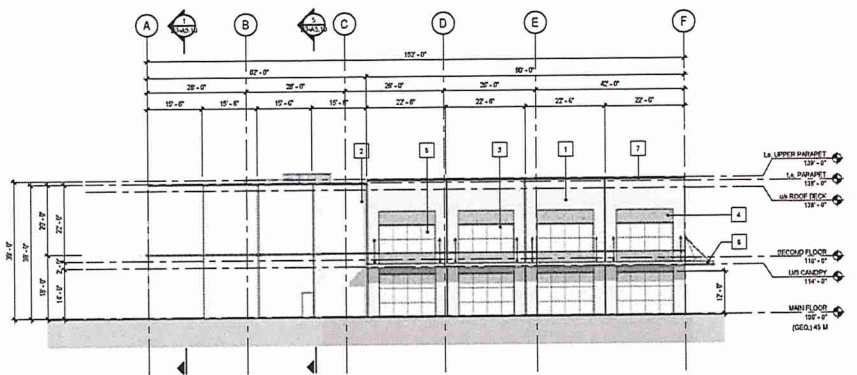
SEE DRG. A349 PROJECT MATERIAL BOARD FOR DETAILS



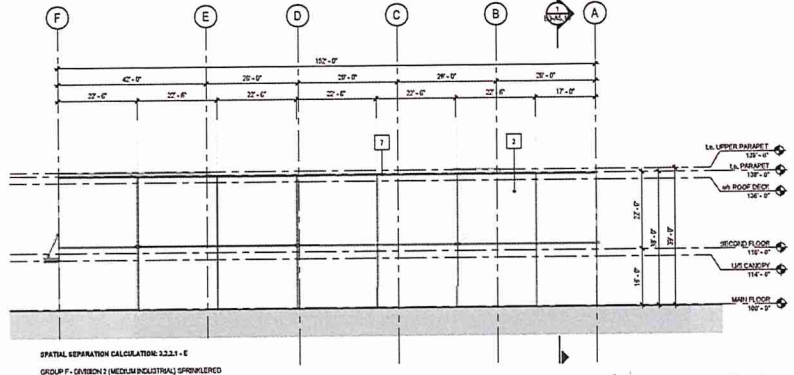
1 Building 3 - South Elevation
SCALE: 1/8" = 1'-0"



2 Building 3 - North Elevation
SCALE: 1/8" = 1'-0"



3 Building 3 - West Elevation
SCALE: 1/8" = 1'-0"



4 Building 3 - East Elevation
SCALE: 1/8" = 1'-0"

SPATIAL SEPARATION CALCULATOR: 3.2.3.1 - E
 GROUP 1 - (2) RESIDENTIAL (INDUSTRIAL) SPRAWLED
 LISTING DISTANCE: 1.5 m
 WALL AREA: 1440 sq. ft. (133.3 sq. m)
 ALLOWABLE OPENINGS: 6%
 PROPOSED OPENINGS: 0%

PRELIMINARY
 NOT FOR CONSTRUCTION

This drawing has not been prepared for the use of the client and there are no representations or warranties made by LARRY PODHORA ARCHITECTURE INC. in any form with whom LARRY PODHORA ARCHITECTURE INC. has not entered into a contract. This drawing shall not be used for construction purposes until it is issued for the purpose.

C	2023.12.05	Revised for DP	
D	2023.12.08	Issued for Review	
A	2023.03.24	Issued for DP	
NO.	DATE	NAME	DESCRIPTION
PROFILES AND REVISIONS			
SCALE			



larry podhora | architecture inc
10000 145th Street, Surrey, BC V3R 5L1

PROJECT NAME
OVR INDUSTRIAL DEVELOPMENT

PROJECT ADDRESS
524 OLD VICTORIA ROAD
NANAIMO BC

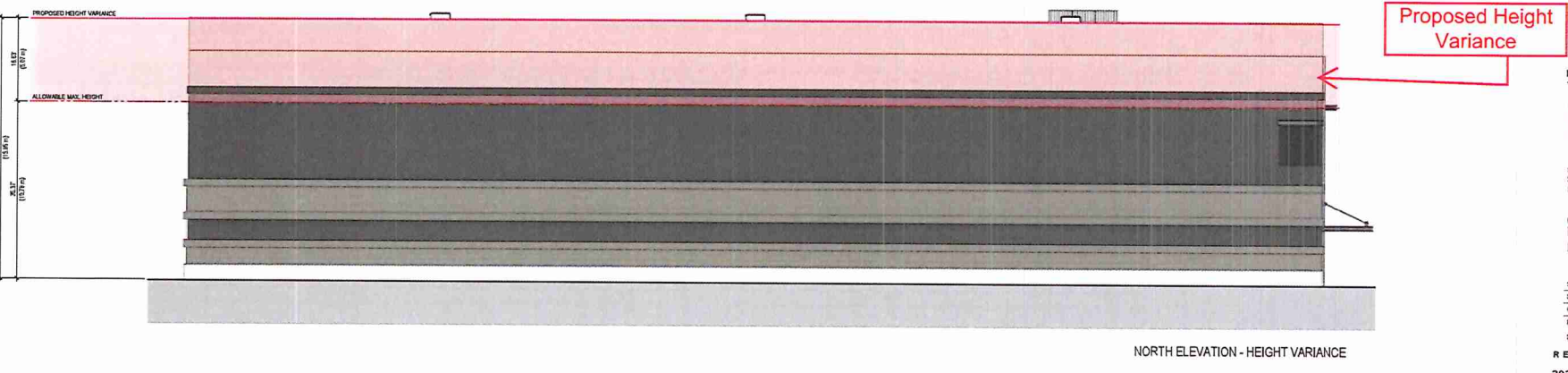
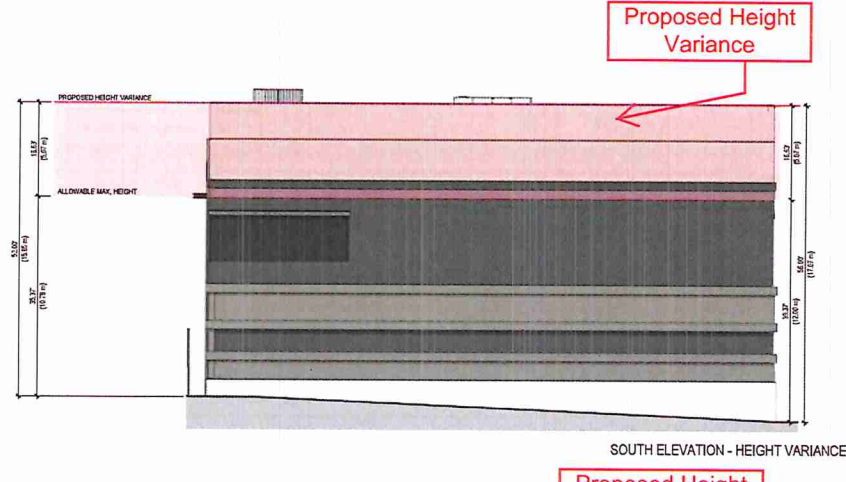
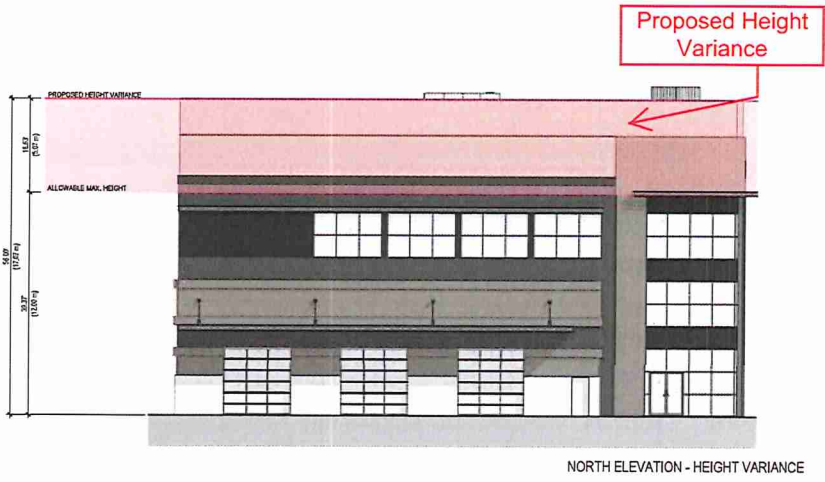
DRAWING TITLE
BUILDING 3 - ELEVATIONS

SCALE	1/8" = 1'-0"
DRAWN	
REVIEWED	
PROJECT NO.	240305
DRAWING NO.	

RECEIVED
 DP1307
 2024-MAR-28
 CURTIS PLANNING

B3-A4.10

C:\Users\larry\OneDrive\Desktop\B3-A4.10.dwg



PRELIMINARY
NOT FOR CONSTRUCTION

We warrant that the information contained herein is true and correct to the best of our knowledge and belief at the time of preparation of this drawing. We do not warrant the accuracy or completeness of any information provided by others. This drawing shall not be used for construction purposes until it is issued for the purpose.

NO.	DATE	BY	DESCRIPTION

larry podhora | architecture inc
1217 102 STREET VANCOUVER, BC V6L 1A7

PROJECT NAME
OVR INDUSTRIAL DEVELOPMENT

PROJECT ADDRESS
504 OLD VICTORIA ROAD
VANCOUVER BC

DRAWING TITLE
BUILDING 4 - ELEVATIONS HEIGHT VARIANCE









SCALE: 1" = 10'-0"
DRAWN: [blank]
CHECKED: [blank]
PROJECT NO.: 220404

RECEIVED **B4-A4.12**
DPI 307
2024-APR-15














EXTERIOR - PROJECT MATERIAL BOARD









BUILDING 1

	<p>1. THIN BRICK TILT - UP CONCRETE PANEL MANUFACTURER: SUMMITVILLE FINISH: THIN BRICK COLOUR: 19-PLYMOUTH PATTERN: HORIZONTAL - RUNNING NOTES: CAST INTO TILT UP PANELS</p>
	<p>2. GLAZING FRAMING MANUFACTURER: TBD FINISH: ANODIZED ALUMINUM COLOUR: BLACK NOTES: N/A</p>
	<p>3. SPANDREL METAL PANEL MANUFACTURER: TBD FINISH: ALUMINUM COLOUR: BLACK NOTES: N/A</p>
	<p>4. GLAZING MANUFACTURER: VITRO GLASS PRODUCT: SOLARBAN 70 COLOUR: OPTIGRAY CLEAR NOTES: N/A</p>
	<p>5. STEEL C - CHANNEL MANUFACTURER: TBD FINISH: ARCHITECTURAL STEEL COLOUR: BLACK NOTES: N/A</p>
	<p>6. CONCRETE BASE TRIM FINISH: NATURAL SEALED FINISH NOTES: CAST-IN-PLACE CONCRETE</p>
	<p>7. ALUMINUM PARAPET CAP MANUFACTURER: MAKIN METALS FINISH: ALUMINUM PRE-FINISHED COLOUR: WEATHERED ZINC NOTE: OR EQUIVALENT</p>
	<p>8. STEEL DOOR - PAINTED PATTERN: SATIN FINISH: PAINTED COLOUR: BM 1609 TEMPTATION NOTE: OR EQUIVALENT</p>










BUILDING 2

	<p>1. PAINTED CONCRETE PANEL - BRICK FORMER PATTERN: HORIZONTAL BRICK - RUNNING FINISH: PAINTED COLOUR: SW. 7639 ETHREAL MOOD NOTES: N/A</p>
	<p>2. PAINTED CONCRETE PANEL - BRICK FORMER PATTERN: HORIZONTAL BRICK - RUNNING FINISH: PAINTED COLOUR: BM. OC-21 WINTER WHITE NOTES: N/A</p>
	<p>3. GLAZING FRAMING MANUFACTURER: TBD FINISH: ANODIZED ALUMINUM COLOUR: BLACK NOTES: N/A</p>
	<p>4. SPANDREL METAL PANEL MANUFACTURER: TBD FINISH: ALUMINUM COLOUR: BLACK NOTES: N/A</p>
	<p>5. GLAZING - MAIN FLOOR MANUFACTURER: VITRO GLASS PRODUCT: SOLARBAN 70 COLOUR: OPTIGRAY CLEAR NOTES: N/A</p>
	<p>6. STEEL C - CHANNEL MANUFACTURER: TBD FINISH: ARCHITECTURAL STEEL COLOUR: BLACK NOTES: N/A</p>
	<p>6. PRE - CAST CONCRETE LINTEL FINISH: NATURAL COLOUR: TBD</p>
	<p>7. CONCRETE BASE TRIM FINISH: NATURAL SEALED FINISH NOTES: CAST-IN-PLACE CONCRETE</p>
	<p>8. CONCRETE PANEL - 3/4\"</p>
	<p>9. ALUMINUM PARAPET CAP MANUFACTURER: MAKIN METALS FINISH: ALUMINUM PRE-FINISHED COLOUR: WEATHERED ZINC NOTE: OR EQUIVALENT</p>
	<p>10. CONCRETE PANEL - CORRUGATED FORMER PATTERN: FLAT FINISH: PAINTED COLOUR: BM 1609 CODE: TBD</p>

BUILDING 3

	<p>1. PAINTED CONCRETE PANEL - BRICK FORMER PATTERN: HORIZONTAL BRICK - RUNNING FINISH: PAINTED COLOUR: BM. CSP-60 COACHMANS CAPE NOTES: OR EQUIVALENT</p>
	<p>2. CONCRETE PANEL PATTERN: FLAT FINISH: PAINTED COLOUR: BM. CSP-85 GOTHAN CODE: OR EQUIVALENT</p>
	<p>3. GLAZING FRAMING MANUFACTURER: TBD FINISH: ANODIZED ALUMINUM COLOUR: BLACK NOTES: N/A</p>
	<p>4. PRE - CAST CONCRETE LINTEL FINISH: NATURAL COLOUR: TBD</p>
	<p>5. GLAZING - MAIN FLOOR MANUFACTURER: VITRO GLASS PRODUCT: SOLARBAN 70 COLOUR: OPTIGRAY CLEAR NOTES: N/A</p>
	<p>6. STEEL C - CHANNEL MANUFACTURER: TBD FINISH: ARCHITECTURAL STEEL COLOUR: BLACK NOTES: N/A</p>
	<p>7. ALUMINUM PARAPET CAP MANUFACTURER: MAKIN METALS FINISH: ALUMINUM PRE-FINISHED COLOUR: WEATHERED ZINC NOTE: OR EQUIVALENT</p>
	<p>8. STAMPED TILT - UP CONCRETE PATTERN: STAMPED BRICK - RUNNING FINISH: PAINTED COLOUR: DARK GRAY CODE: TBD</p>

BUILDING 4

	<p>1. CONCRETE PANEL PATTERN: FLAT FINISH: PAINTED COLOUR: BM. OC-22 GRAY OVL CODE: OR EQUIVALENT</p>
	<p>2. GLAZING FRAMING MANUFACTURER: TBD FINISH: ANODIZED ALUMINUM COLOUR: BLACK NOTES: N/A</p>
	<p>3. SPANDREL ALUMINUM PANEL MANUFACTURER: TBD FINISH: ALUMINUM COLOUR: BLACK NOTES: N/A</p>
	<p>4. GLAZING - MAIN FLOOR MANUFACTURER: VITRO GLASS PRODUCT: SOLARBAN 70 COLOUR: OPTIGRAY CLEAR NOTES: N/A</p>
	<p>5. STEEL C - CHANNEL MANUFACTURER: TBD FINISH: ARCHITECTURAL STEEL COLOUR: BLACK NOTES: N/A</p>
	<p>6. PRE - CAST CONCRETE BASE TRIM FINISH: NATURAL COLOUR: TBD</p>
	<p>7. CONCRETE PANEL - 3/4\"</p>
	<p>8. THIN BRICK VANEER MANUFACTURER: SUMMITVILLE FINISH: THIN BRICK COLOUR: 19-PLYMOUTH PATTERN: HORIZONTAL - RUNNING NOTES: CAST INTO TILT UP PANELS</p>
	<p>9. ALUMINUM PARAPET CAP MANUFACTURER: MAKIN METALS FINISH: ALUMINUM PRE-FINISHED COLOUR: WEATHERED ZINC NOTE: OR EQUIVALENT</p>

PRELIMINARY
 NOT FOR CONSTRUCTION

This drawing is the intellectual property of the client and shall remain the property of the client. It is to be used for the purpose of the contract only and shall not be used for any other purpose without the written consent of the architect. The architect shall not be held responsible for any errors or omissions in this drawing.

3 2024.12.15 Reissued for DP
 1 2024.04.24 Issued for DP
 VLS DATE MADE: 2024.03.27
 ISSUES AND REVISIONS



Iary podhora | architecture inc
 107-10810700 80 NORTH BRANFORD DR. STE. 104

PROJECT NAME:
OVR INDUSTRIAL DEVELOPMENT

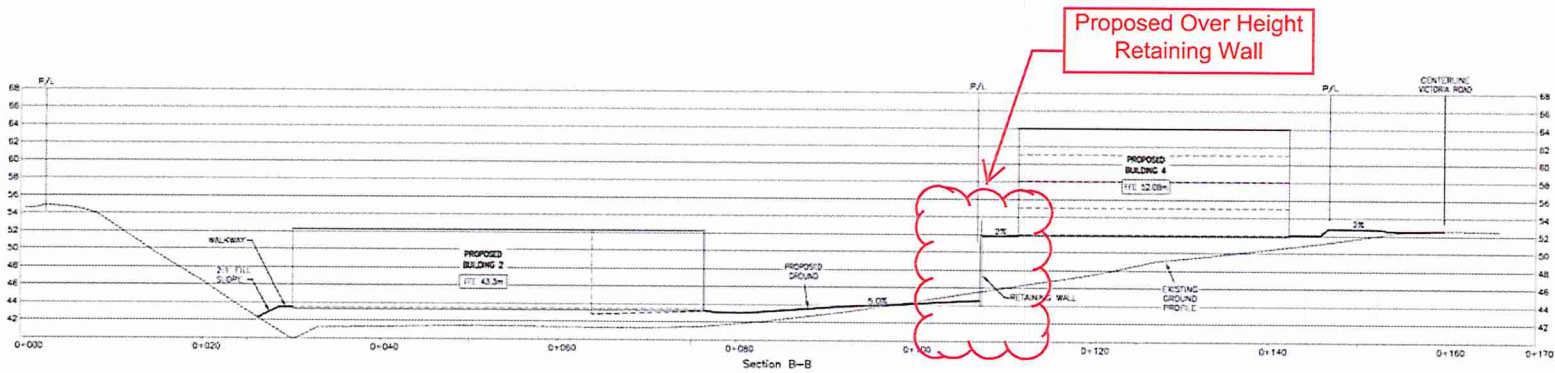
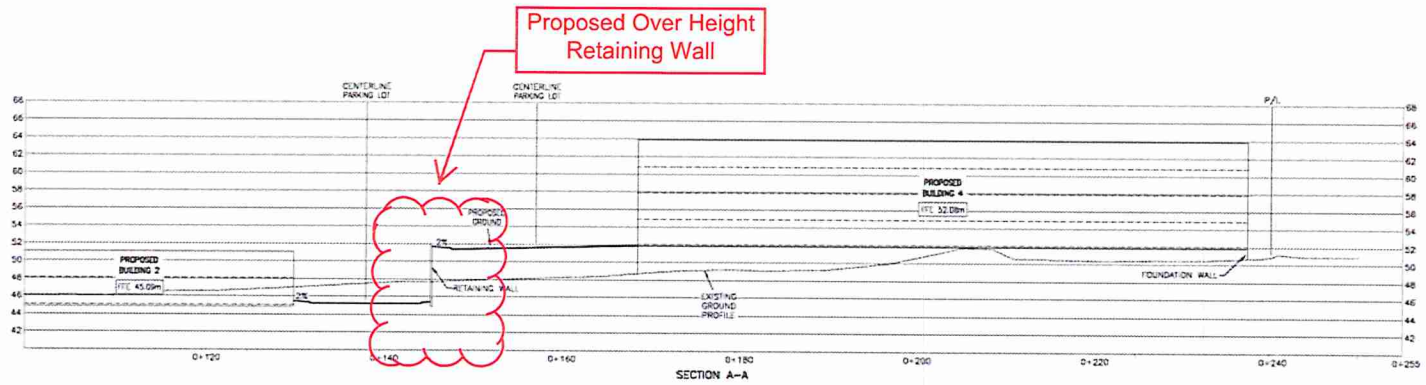
PROJECT ADDRESS:
 524 OLD VICTORIA ROAD
 NASHUA BC

DRAWING TITLE:
MATERIAL BOARD

SCALE:
 DRAWN:
 REVIEWED:
 PROJECT NO.: 24035
 DRAWING NO.:

RECEIVED
DP1307
2024-MAR-28
 GREEN PAPER

A1.07



ISSUED FOR PERMIT PURPOSES ONLY

RECEIVED
DP1307
2024-MAR-28
Current Planning

DP00 /BP /ENG

Rev. No.	DATE	BY	REVISION DESCRIPTION
01	24/05/23	JTD	ISSUED FOR DEVELOPMENT PERMITS - NOT FOR CONSTRUCTION
02	12/12/23	JTD	ISSUED FOR CLIENT REVIEW - NOT FOR CONSTRUCTION
03	03/06/24	JTD	ISSUED FOR CLIENT REVIEW - NOT FOR CONSTRUCTION

SYMBOL	DESCRIPTION
(Symbol)	BOUNDARY
(Symbol)	STORM SEWER
(Symbol)	WASTEWATER SEWER
(Symbol)	500 MM WATER
(Symbol)	ELECTRICAL DUCT
(Symbol)	ALUMINIUM/STEEL HANDRAIL
(Symbol)	STEEL INLET/OUTLET
(Symbol)	TABLE
(Symbol)	EDGE OF PAVEMENT
(Symbol)	WALK WAY
(Symbol)	SWP
(Symbol)	LIMIT OF CONSTRUCTION

SITE LEGAL DESCRIPTION
 LOTS 1 AND 2 PLAN 8961 AND REM. C PLAN 1748, SECTION 1, NANAIMO DISTRICT

BENCHMARK DESCRIPTION
 ELEVATIONS ARE TO GEODETIC DATUM AND ARE REFERRED TO MONUMENT No. 7918363 LOCATED AT THE INTERSECTION OF OLD VICTORIA ROAD AND BOWLSBY ST. ELEVATION 49.160m

ENGINEER'S SEAL

 DESIGN: BH
 DRAWN: JTD
 CHECKED: BH
 PLOT DATE: 03-06-24
 PROJECT NO.:
 LEGAL PLAN: IS PRACTICE NUMBER: 12345678
 HORIZONTAL SCALE: 1:500
 VERTICAL SCALE:

CLIENT NAME:
NA-924 OVR LIMITED PARTNERSHIP

PROJECT NAME:
924 OLD VICTORIA ROAD

DRAWING TITLE:
SITE CROSS SECTIONS

PROJECT NO.: 1199-003
 DRAWING NO.: 105
 REVISION NO.: 02
 CITY PLAN FILE NO.:

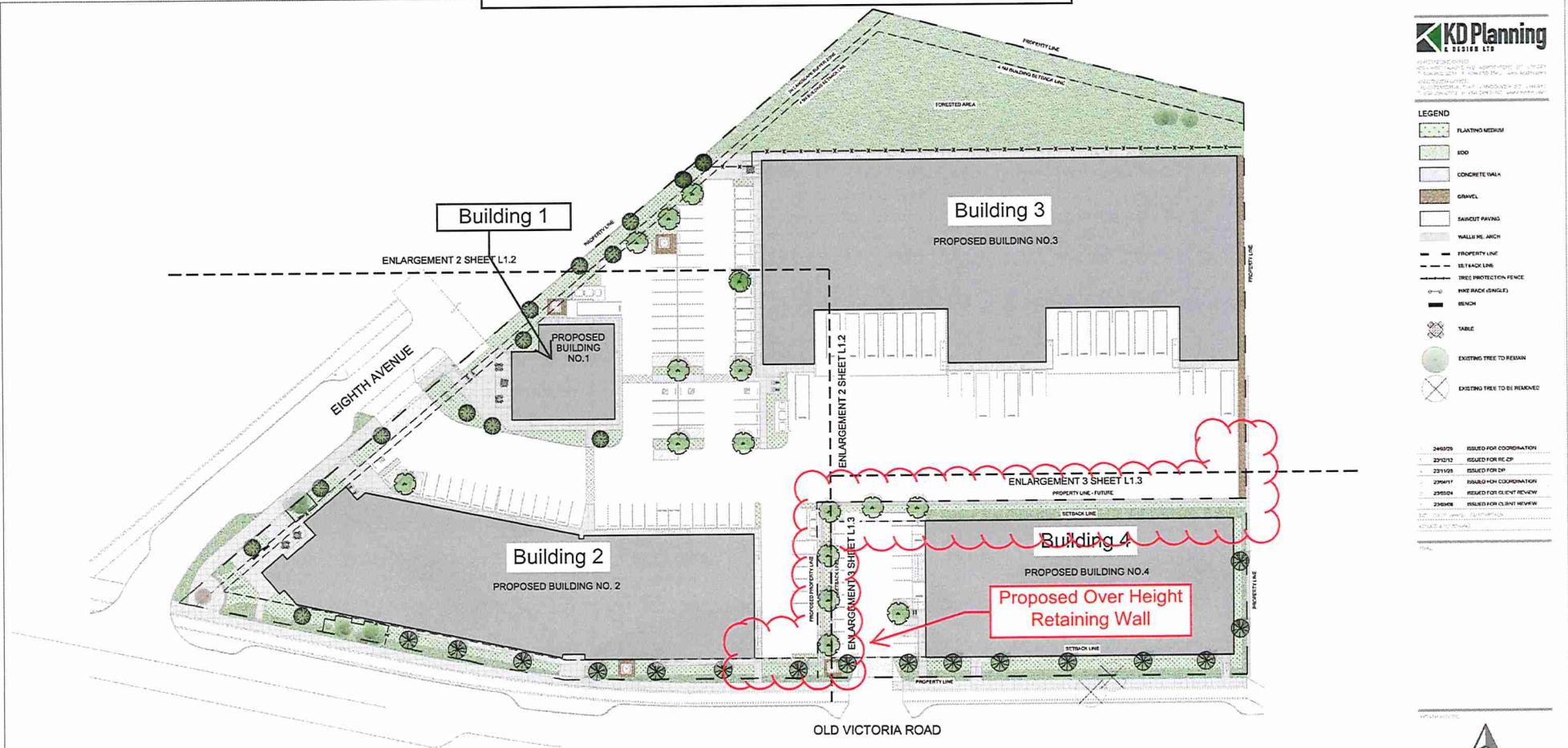
NE
 NEWCASTLE ENGINEERING LTD.
 4-2119 GARDENS ROAD
 NANAIMO, B.C. V9R 4R6
 PHONE (250) 758-8883



LEGEND

[Pattern]	PLANTING MEDIUM
[Pattern]	SOIL
[Pattern]	CONCRETE WALK
[Pattern]	GRAVEL
[Pattern]	SAWCUT PAVING
[Pattern]	WALL REIN. ARCH
---	PROPERTY LINE
---	SETBACK LINE
---	TREE PROTECTION FENCE
---	WHEE BACK (ANGLE)
---	RENCH
[Symbol]	TABLE
[Symbol]	EXISTING TREE TO REMAIN
[Symbol]	EXISTING TREE TO BE REMOVED

240705	ISSUED FOR COORDINATION
250212	ISSUED FOR REC'DP
251009	ISSUED FOR DP
250917	ISSUED FOR COORDINATION
250924	ISSUED FOR CLIENT REVIEW
250608	ISSUED FOR CLIENT REVIEW



Proposed Over Height Retaining Wall

NATURAL ROCK OUTCROPS TO BE RETAINED WHERE POSSIBLE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	ESPACING	CONDITION
DECIDUOUS TREES						
[Symbol]	16	Catalpa Douglasii	Black Hawthorn	6m Cal.	As Shown	WB
CONIFEROUS TREES						
[Symbol]	16	Pinus Euphratica x Glauca	Hybrid White Spruce	4.5m H.	As Shown	WB
[Symbol]	16	Pseudotsuga Maritima	Douglas Fir	3.5m H.	As Shown	WB
SHRUBS						
[Symbol]	83	Law Cedrus	Islandy	30cm H.	As Shown	#2 Pkt
[Symbol]	96	Prunus Quinquerana	Balsam Poplar	2.2m H.	As Shown	#2 Pkt
[Symbol]	233	Yucca Glauca	Cornice Hedgehog	80cm H.	As Shown	#2 Pkt
[Symbol]	54	Thuja Occidentalis Smaragd	Emerald Green Cedar	1.5m H.	As Shown	B & B
[Symbol]	33	Juniperus Effusa	Common Juniper	80cm H.	As Shown	#2 Pkt
[Symbol]	85	Rubus Parviflorus	Thimbleberry	1.2m H.	As Shown	#2 Pkt
[Symbol]	32	Fraxinus viridis	Japanese Spindle	9.15m H.	As Shown	#2 Pkt
[Symbol]	31	Emolus Canada Prunus	Viburnum	9.15m H.	As Shown	#2 Pkt
[Symbol]	31	Salix caprea	Willow	2.2m H.	As Shown	#2 Pkt
[Symbol]	24	Aucuba Japonica	Kilian	2.2m H.	As Shown	#2 Pkt
[Symbol]	71	Cornus alternifolia	Common Dogwood	20cm H.	As Shown	#2 Pkt
[Symbol]	118	Salix caprea	Willow Spine	1.2m H.	As Shown	#2 Pkt
[Symbol]	280	Aucuba Japonica	Gladiolus	1.2m H.	As Shown	#2 Pkt
PERENNIALS, GRASSES, AND GRASSES						
[Symbol]	252	Limonium carolinianum	Orange Limonium	50cm H.	As Shown	#2 Pkt
[Symbol]	319	Panicum Arrhenata	Slendergrass	25cm H.	As Shown	#2 Pkt

- GENERAL NOTES**
- EXAMINE SITE AND CONFIRM EXISTING SITE CONDITIONS BEFORE BIDDING.
 - CONFIRM ALL LANDSCAPE CONDITIONS ON SITE, DO NOT SCALE DRAWINGS.
 - CONFIRM EXISTING AND PROPOSED GRACES PRIOR TO BEGINNING CONSTRUCTION WORKS.
 - CONFIRM MUNICIPAL REGULATIONS FOR BUILDING PERMITS, SETBACKS, SOILING CODES, WORKS, AND OTHER BY-LAW REQUIREMENTS OBTAIN REQUIRED PERMITS PRIOR TO BEGINNING CONSTRUCTION WORKS.
 - OBTAIN UTILITY AND SERVICES LOCATED PRIOR TO BEGINNING CONSTRUCTION WORKS.
 - PROTECT FROM DAMAGE ALL EXISTING STRUCTURES, TREES, SURFACES, SITE FURNISHINGS, UNDERGROUND SERVICES AND OTHER EXISTING UTILITIES THAT REMAIN ON SITE AND ARE PART OF THE SITE OR ADJACENT TO THE SITE. INFORM YOUR SUPERVISOR OF ANY DAMAGE TO THESE ITEMS PRIOR TO THE CONSTRUCTION WORK AT THE CONTRACTOR'S OWN RISK.
 - THE CONTRACTOR SHALL MAINTAIN THE SITE IN GOOD WORKING ORDER WITH A CLEAN AND OPENED SURFACE DURING THE PERIOD OF WORKS. FOOTPATHS, PUBLIC AND PRIVATE AREAS ARE TO BE KEPT AS THE STATE OF EACH DAY AND FULLY OPEN TO USERS. LANDSCAPE DESIGN IS TO BE UNCHANGED OFF SITE, AS LEGAL AND APPROVED LOCATIONS.
- PLANTING NOTES**
- PLANTER SHALL BE INSTALLED AS DIRECTED BY THE DRAWING NOTES AND DETAILS.
 - PLANT MATERIAL SUBSTITUTIONS WILL NOT BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL.
 - ALL PLANT MATERIAL SHALL BE THOROUGHLY WATERED AND SOAKED AT THE TIME OF PLANTING.
 - TREE PROTECTION, REFER TO THE MUNICIPAL DETAILS IF REQUIRED.
 - ALL LANDSCAPE MATERIALS TO COMPLY WITH THE CANADIAN LANDSCAPE STANDARD.
 - SOIL DEPTHS IN ALL PLANTING AREAS TO BE MINIMUM 450mm.
 - SOIL ANALYSES FOR PROPOSED GROWING MEDIUMS IS TO BE PROVIDED TO LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 - PLANTING MEDIUM TO MEET CANADIAN LANDSCAPE STANDARD FOR LEVEL 1.

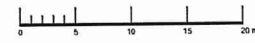
- ALL PLANTING BEDS TO BE FINISHED WITH 15cm OF BANK MULCH. REFER TO PLANTING DETAILS FOR INSTALLATION AROUND PLANT MATERIAL.
 - PLANT MATERIALS SPECIFIED FOR THIS PROJECT WILL CONFORM TO THE CANADIAN LANDSCAPE STANDARD AND MUNICIPAL LANDSCAPE STANDARD FOR SIZE, VARIETY AND CONDITION. AS INDICATED ON THE PLANT LIST PROVIDED ON THIS DRAWING, ANY PLANT DISPLAYING ROUGH SURFACE, INJURY OR DAMAGE WILL BE REJECTED. ANY PLANT THAT IS REJECTED WILL BE REMOVED FROM THE SITE AND REPLACED WITH A PLANT OF ACCEPTABLE QUALITY AT NO ADDITIONAL COST TO THE OWNER.
 - REMOVE DEAD OR DAMAGED BRANCHES. ALL PRUNING SHALL BE PERFORMED IN ACCORDANCE WITH ESTABLISHED HORTICULTURAL PRACTICES AND INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) SPECIFICATIONS WITH APPROPRIATE TRAINS FOR EACH SPECIES.
 - PROVIDE A ONE YEAR WARRANTY FOR THE PLANT MATERIAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE REQUIRED TO KEEP THE PLANTS IN A HEALTHY CONDITION DURING THE WARRANTY PERIOD UNLESS OTHERWISE AGREED UPON AND FOR REPLACEMENT OF PLANT MATERIALS THAT ARE DEAD OR IN POOR CONDITION DURING THE WARRANTY PERIOD AT THE CONTRACTOR'S OWN EXPENSE. MAINTENANCE INCLUDES BUT IS NOT LIMITED TO:
 - 12.1 Regular schedule of watering of the plants as require and/or as directed by the Project Manager during consultation and the warranty period. Plants shall be watered with all back of water equal to the Owner's responsibility. Failure to do so after the request shall result in the work being undertaken by others. The cost of the work shall be deducted from the site. Certain types of drought and disease not covered by the Contract.
 - 12.2 Mammals and additional installation of mesh.
 - 12.3 Weed removal
 - 12.4 Disease control
- IRRIGATION NOTES**
- IRRIGATION TO BE PROVIDED FOR ALL "SOFT" LANDSCAPE AREAS SHOWN ON THE DRAWING, USING A HIGH EFFICIENCY IRRIGATION SYSTEM.
 - IRRIGATED AREAS TO BE INSTALLED AS A DESIGN BUILT IRRIGATION SYSTEM FOR THE STATUTES PROVIDED. PROVIDE SUBMITTALS OF DESIGN TO CONSULTANT AT LEAST ONE WEEK PRIOR TO INSTALLATION AND ADOPTED DURING THE MONTH OF SUBMITTAL PERFORMANCE.
 - THE IRRIGATION SYSTEM DESIGN AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE IRRIGATION INDUSTRY OF BC STANDARDS AND GUIDELINES.
 - ALL IRRIGATION VALVE BOXES TO BE EQUIPPED WITH QUICK COUPLERS.
 - USE POP-UP SPRINKLER HEADS.
 - DO NOT SPRAY WATER ONTO TREE TRUNKS.



OVR INDUSTRIAL DEVELOPMENT

924 OLD VICTORIA ROAD
 NANAIMO, BC

OVERALL LANDSCAPE PLAN



L1

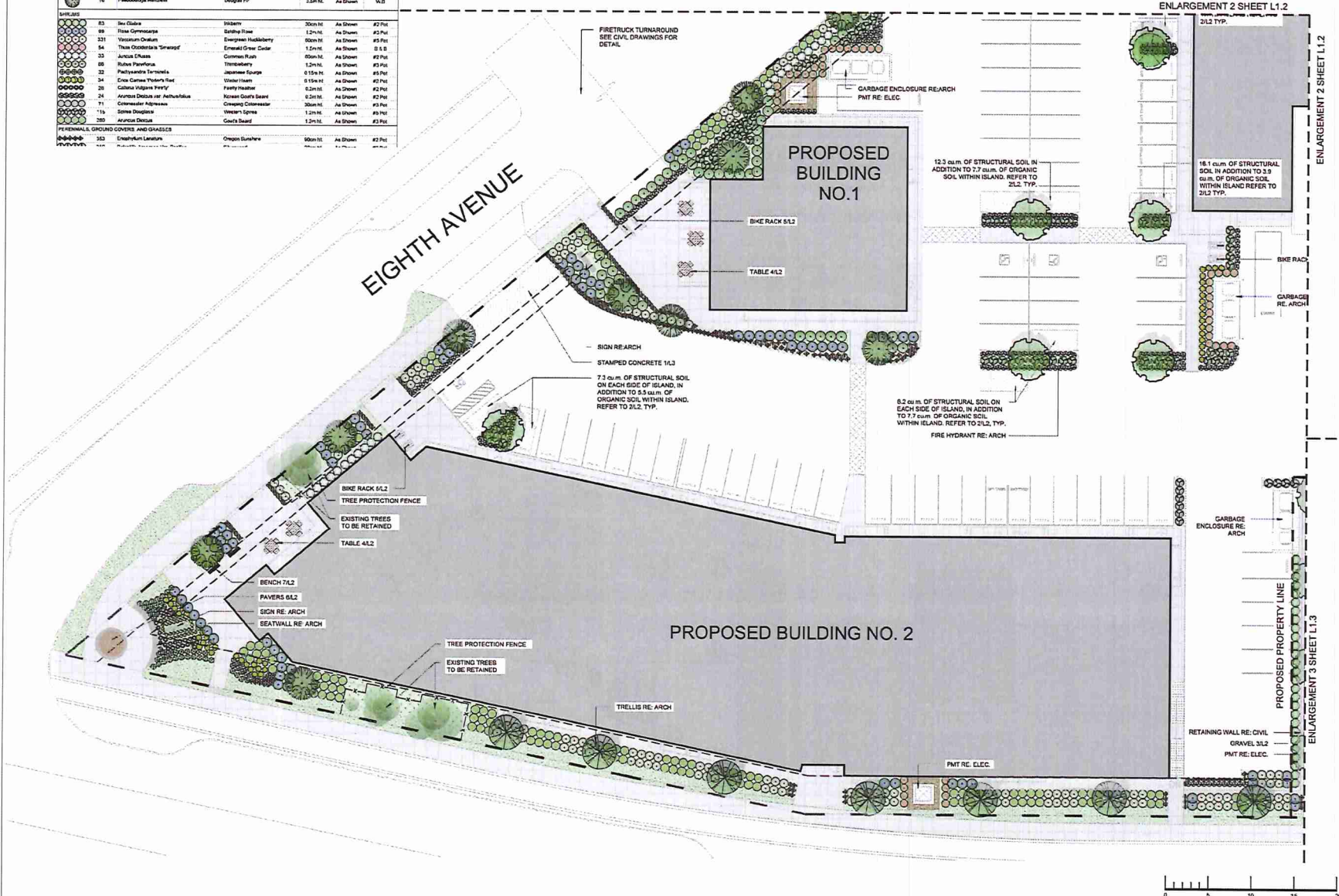
NOT TO SCALE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION
UCULMUS TREES						
	16	<i>Corylus Do格拉斯</i>	Black Hawthorn	30cm Ht.	As Shown	W.R.
CONIFERUS TREES						
	16	<i>Pinus Engelmanii</i>	Hybrid White Spruce	4.5m Ht.	As Shown	W.R.
	16	<i>Pseudotsuga Macmurtrei</i>	Douglas Fir	3.5m Ht.	As Shown	W.R.
SHRUBS						
	63	<i>Rosa Glabra</i>	Roseberry	30cm Ht.	As Shown	#2 Pl.
	69	<i>Rosa Canadensis</i>	Barberry Rose	1.2m Ht.	As Shown	#2 Pl.
	331	<i>Vaccinium Oxaleum</i>	Emergreen Huckleberry	60cm Ht.	As Shown	#5 Pl.
	64	<i>Thalictrum Odoratum</i>	Emerald Green Columbine	1.2m Ht.	As Shown	D.S.B.
	33	<i>Juniperus Chinensis</i>	Common Juniper	60cm Ht.	As Shown	#2 Pl.
	66	<i>Ribes Flavoviride</i>	Tritemeberry	1.2m Ht.	As Shown	#3 Pl.
	32	<i>Platyphedon Tormentosus</i>	Japanese Spurge	0.15m Ht.	As Shown	#3 Pl.
	34	<i>Erica Carnea</i>	Winter Heath	0.15m Ht.	As Shown	#2 Pl.
	28	<i>Galium Vulgare</i>	Peppery Heath	0.2m Ht.	As Shown	#2 Pl.
	61	<i>Artemisia Biennis</i>	Common Wormwood	0.2m Ht.	As Shown	#2 Pl.
	71	<i>Cornus Alternate</i>	Common Spicebush	30cm Ht.	As Shown	#3 Pl.
	116	<i>Sorbus Douglasii</i>	Western Spirea	1.2m Ht.	As Shown	#3 Pl.
	267	<i>Artemisia Canadensis</i>	Common Wormwood	1.2m Ht.	As Shown	#3 Pl.
PERENNIAL GROUND COVERS AND GRASSES						
	163	<i>Eragrostis Lanatum</i>	Oregon Sunshine	60cm Ht.	As Shown	#2 Pl.



2493/05 ISSUED FOR COORDINATION
 2212/12 ISSUED FOR RE-CP
 2311/05 ISSUED FOR CP
 2306/17 ISSUED FOR COORDINATION
 2305/24 ISSUED FOR CLIENT REVIEW
 2303/08 ISSUED FOR CLIENT REVIEW

- LEGEND**
- PLANTING MEDIUM
 - SOIL
 - CONCRETE VALE
 - GRAVEL
 - SAUCUT PAVING
 - WALLS RE. ARCH
 - PROPERTY LINE
 - ELT/ARCH LINE
 - TREE PROTECTION FENCE
 - BIKE RACK (ANGLE)
 - BENCH
 - TABLE
 - EXISTING TREE TO BE RETAINED
 - EXISTING TREE TO BE REMOVED



- 2493/05 ISSUED FOR COORDINATION
 2212/12 ISSUED FOR RE-CP
 2311/05 ISSUED FOR CP
 2306/17 ISSUED FOR COORDINATION
 2305/24 ISSUED FOR CLIENT REVIEW
 2303/08 ISSUED FOR CLIENT REVIEW



OVR INDUSTRIAL DEVELOPMENT

924 OLD VICTORIA ROAD
 NANIMO, BC

ENLARGEMENT 1

SCALE	1:200
DATE	04/11/2024
DESIGNED BY	JT
CHECKED BY	2305/24

L1.1





KD Planning
DESIGN LTD
111-1120 16th Avenue, Suite 101
Vancouver, BC V6M 4K2
Tel: (604) 681-1111
Fax: (604) 681-1120
www.kdplanning.com

- LEGEND**
- PLANTING (W.P. #)
 - SOIL
 - CONCRETE (W.P. #)
 - GRAVEL
 - GRASS PAVING
 - WHEELBARROW
 - PROPERTY LINE
 - REFERENCE LINE
 - TREE PROTECTION FENCE
 - TRENCH
 - TREE
 - EXISTING TREE TO BE RETAINED

- 220101 COVERED PORCH (W.P. #)
- 220102 COVERED PORCH (W.P. #)
- 220103 COVERED PORCH
- 220104 SHAWNS FOR SIDEWALKS
- 220105 SHAWNS FOR DRIVEWAY
- 220106 SHAWNS FOR DRIVEWAY



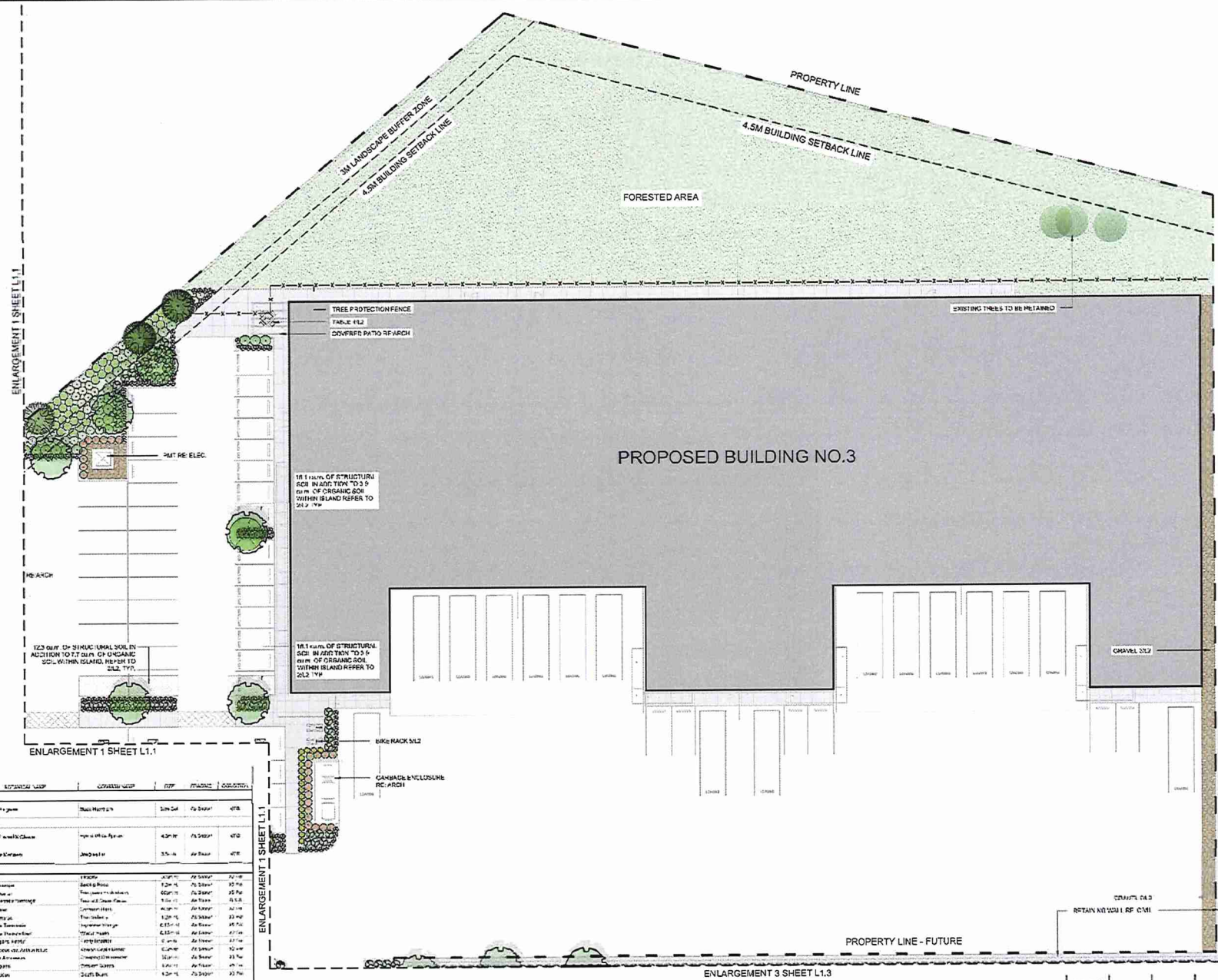
OVR INDUSTRIAL DEVELOPMENT

924 OLD VICTORIA ROAD
NANIMO BC

ENLARGEMENT 2

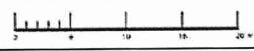
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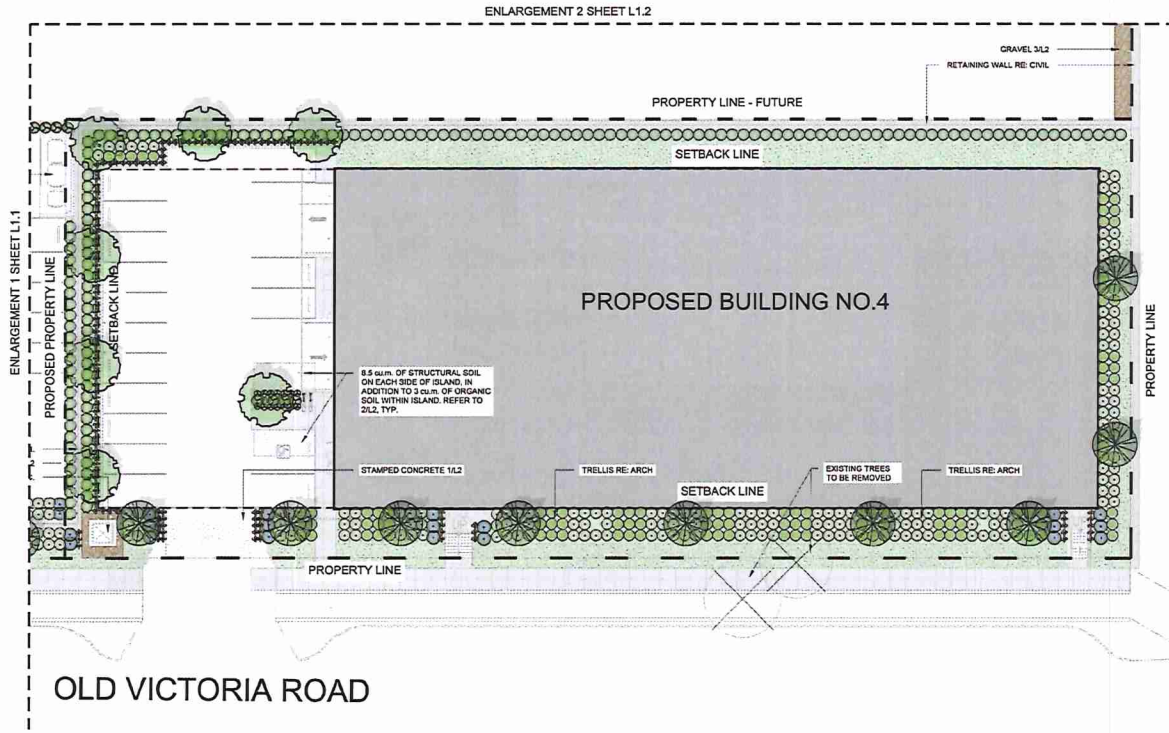
L1.2



PLANT LIST

SYM	SYN	BOTANICAL NAME	COMMON NAME	HTF	PLANT	COLORTD
DECIDUOUS TREES						
17	P	Platanus x hybrida	Black Walnut	20m-24m	Co. Street	47B
CONIFEROUS TREES						
12	P	Thuja plicata	Green Cedar	4-5m	Co. Street	47D
13	P	Thuja occidentalis	White Cedar	3-5m	Co. Street	47E
SHRUBS						
10	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47B
11	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47C
14	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47D
15	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47E
16	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47F
18	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47G
19	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47H
20	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47I
21	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47J
22	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47K
23	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47L
24	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47M
25	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47N
26	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47O
27	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47P
28	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47Q
29	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47R
30	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47S
31	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47T
32	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47U
33	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47V
34	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47W
35	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47X
36	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47Y
37	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47Z
38	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47A
39	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47B
40	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47C
41	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47D
42	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47E
43	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47F
44	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47G
45	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47H
46	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47I
47	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47J
48	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47K
49	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47L
50	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47M
51	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47N
52	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47O
53	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47P
54	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47Q
55	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47R
56	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47S
57	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47T
58	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47U
59	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47V
60	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47W
61	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47X
62	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47Y
63	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47Z
64	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47A
65	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47B
66	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47C
67	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47D
68	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47E
69	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47F
70	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47G
71	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47H
72	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47I
73	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47J
74	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47K
75	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47L
76	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47M
77	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47N
78	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47O
79	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47P
80	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47Q
81	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47R
82	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47S
83	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47T
84	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47U
85	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47V
86	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47W
87	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47X
88	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47Y
89	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47Z
90	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47A
91	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47B
92	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47C
93	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47D
94	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47E
95	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47F
96	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47G
97	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47H
98	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47I
99	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47J
100	P	Thuja occidentalis	Green Cedar	3-5m	Co. Street	47K





PLANT LIST

QTY	CITY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION
18		<i>Crataegus Douglasii</i>	Star Hawthorn	50cm H	As Shown	W.S.
14		<i>Platanus Englemanni</i> & <i>Platanus</i>	Hybrid White Sycamore	4.5m H	As Shown	W.S.
10		<i>Pseudotsuga Menziesii</i>	Douglas Fir	2.5m H	As Shown	W.S.
SHRUBS						
83		<i>Herzogiopsis</i>	Waltay	33cm H	As Shown	83 Pkt
83		<i>Rosa Omeiensis</i>	Double Rose	1.2m H	As Shown	83 Pkt
231		<i>Yucca lowii</i>	Common Yucca	60cm H	As Shown	83 Pkt
14		<i>Yucca Treadwellii</i>	Yucca Treadwellii	1.5m H	As Shown	84 B.
83		<i>Juniperus chinensis</i>	Chinese Juniper	85cm H	As Shown	83 Pkt
83		<i>Rubus Chingii</i>	Thimbleberry	1.2m H	As Shown	83 Pkt
32		<i>Photinia glabra</i>	Japanese Yew	0.15m H	As Shown	85 Pkt
34		<i>Thuja Chinensis</i>	Chinese Arborvitae	0.15m H	As Shown	85 Pkt
23		<i>Cornus rugosa</i>	Spicebush	0.3m H	As Shown	82 Pkt
24		<i>Artemisia biennis</i>	Common Wormwood	0.3m H	As Shown	82 Pkt
71		<i>Salix caprea</i>	Crack Willow	2.0m H	As Shown	82 Pkt
115		<i>Spiraea Douglasii</i>	Western Spiraea	1.2m H	As Shown	85 Pkt
203		<i>Artemisia biennis</i>	Wormwood	1.2m H	As Shown	85 Pkt
PERENNIALS, GRASSING, COVERING AND LICHENS						
303		<i>Erigeron annuus</i>	Common Fleabane	60cm H	As Shown	82 Pkt
319		<i>Poa annua</i>	Annual Ryegrass	33cm H	As Shown	83 Pkt

LEGEND

- PLANTING METHOD
- SOIL
- CONCRETE WALL
- GRAVEL
- SAWCUT PAVING
- WALLS RE. ARCH
- PROPERTY LINE
- SETBACK LINE
- TREE PROTECTION FENCE
- BIKE RACK (ANGLE)
- BENCH
- TABLE

249329 ISSUED FOR COORDINATION
 251212 ISSUED FOR REC. CP
 251103 ISSUED FOR DP
 250911 ISSUED FOR COORDINATION
 250524 ISSUED FOR CLIENT REVIEW
 250208 ISSUED FOR CLIENT REVIEW

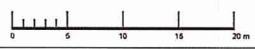
NORTH

OVR INDUSTRIAL DEVELOPMENT

624 OLD VICTORIA ROAD
 NANIMO, BC

ENLARGEMENT 3

DATE: 12/01/2024
 DRAWN BY: MA
 CHECKED BY: JT
 PROJECT NO: 220324



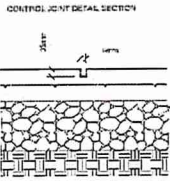
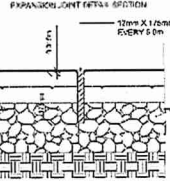
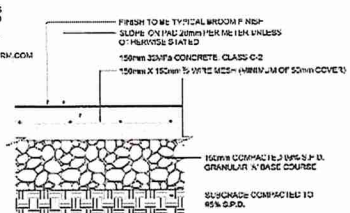
L1.3

Approved for Construction
 2024/12/01
 2024/12/01



1000 WESTERN AVENUE SUITE 100
 VANCOUVER, BC V6C 3R8
 TEL: 604-271-1111
 FAX: 604-271-1112
 WWW.KDPLANNING.COM

STAMPED CONCRETE SPECIFICATIONS
 PATTERN: PLAIN
 INTER-COLOR: LIGHT GREY
 FINISH: BROOM
 MANUFACTURER: CONTACT: WWW.PLANETCONCRETE.COM



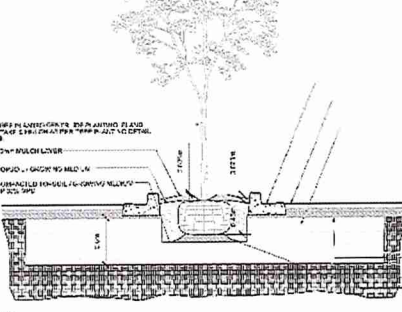
- NOTES**
- CONCRETE TO BE 20MPa, CLASS C-2 AT 28 DAYS WITH 6% AIR ENTRAINMENT.
 - CONCRETE TO HAVE BROOM FINISH PERPENDICULAR TO THE LENGTH OF THE SIDEWALK.
 - EXPANSION JOINTS TO BE LOCATED AT MAXIMUM 6.0M AND WHERE CONCRETE FINISHING METHODS OTHER THAN BROOMING OF BUILDING.
 - CONTROL JOINTS TO BE LOCATED AT INTERVALS OF 20.0M AND AT CORNERS OF 4.0M SPAN WALKWAY.
 - CONCRETE TO BE FINISHED WITH WHITE PORTLAND CEMENT COLOR COMPOUND.
 - ALL DIMENSIONS ARE IN MILLIMETRES.

1 STAMPED CONCRETE



WAGLUN 210 CLUSTER SEATING
 MATERIAL: WOOD
 INSTALLATION: SURFACE MOUNT
 QUANTITY: 2
 1.80M x 1.50M x 0.50M

4 TABLE

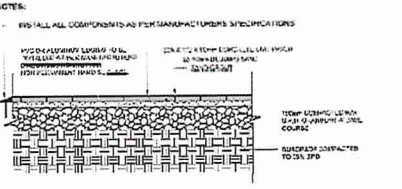


2 STRUCTURAL SOIL



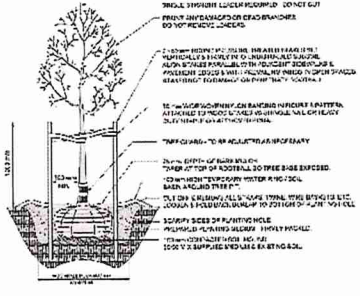
MANUFACTURER: ULINE
MODEL NUMBER: 11-6572
COLOR: BLACK
QUANTITY: 2

5 BIKE RACK

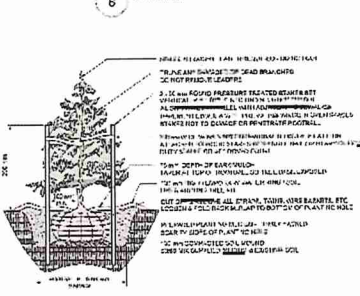


OUTPANEL SPECIFICATIONS
 PATTERN: PLAIN
 INTER-COLOR: LIGHT GREY
 FINISH: BROOM
 MANUFACTURER: CONTACT: WWW.PLANETCONCRETE.COM

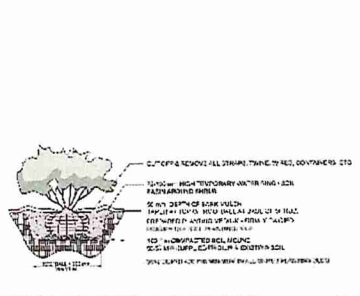
6 PAVERS



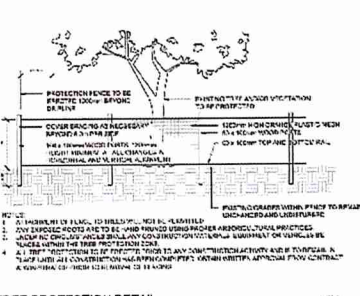
DECIDUOUS TREE



CONIFEROUS TREE



SHRUB AND PERENNIAL PLANTING DETAIL



TREE PROTECTION DETAIL

ACKED BENCH
WOOD
SURFACE MOUNT

7 BENCH

1000	WESTERN AVENUE SUITE 100
1001	VANCOUVER, BC V6C 3R8
1002	TEL: 604-271-1111
1003	FAX: 604-271-1112
1004	WWW.KDPLANNING.COM

OVR INDUSTRIAL DEVELOPMENT

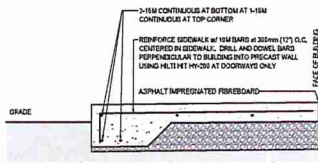
924 OLD VICTORIA ROAD
 NANAIMO BC

DETAILS

DATE:	15/05/2024
BY:	SA/STW
CHECKED BY:	SA
SCALE:	AS SHOWN

L2

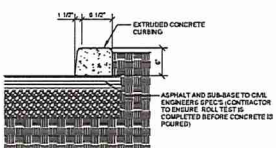
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NOTE: (2) MIN. 1" THICK SIDEWALK ONLY COMPACTED CLEAN GRANULAR FILL. PROVIDE CONTROL JOINTS EVERY 120" MIN (10'-0") - REFER TO SITE PLAN. PROVIDE 30mm (1 1/8") RIGID INSULATION BENEATH SIDEWALK AT ALL DOORS, EXTENDING 120" MIN (10'-0") BEYOND DOOR AT EITHER SIDE.

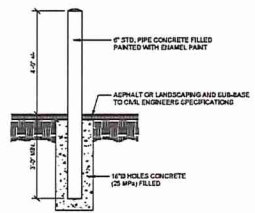
1 SIDEWALK DETAIL

SCALE: 1" = 1'-0"



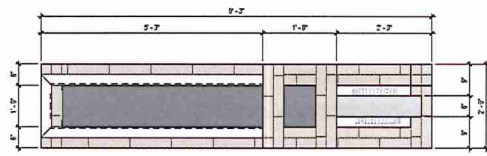
2 EXTRUDED CURB DETAIL

SCALE: 1" = 1'-0"



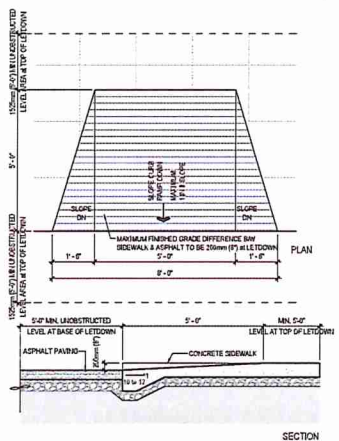
6 BOLLARD DETAIL

SCALE: 1" = 1'-0"



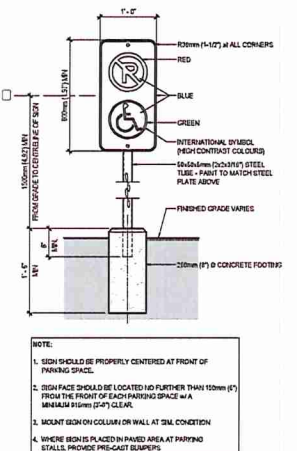
8 FREESTANDING SIGN PLAN VIEW

SCALE: 3/8" = 1'-0"



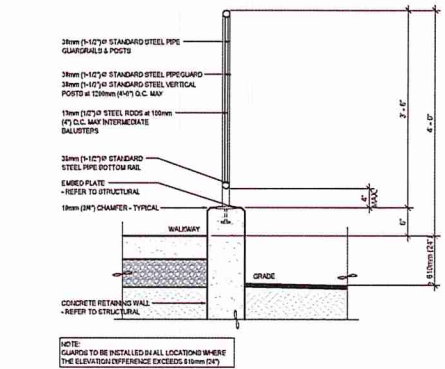
3 ACCESSIBLE LETDOWN

SCALE: 1/2" = 1'-0"



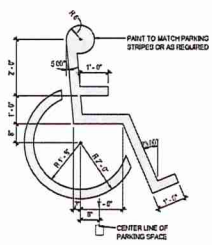
4 ACCESSIBLE POST MOUNTED SIGN DETAIL

SCALE: 1" = 1'-0"



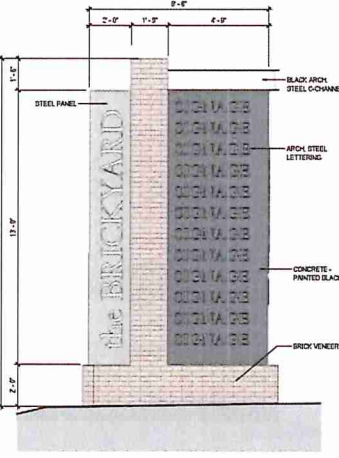
5 RETAINING WALL AND GUARDRAIL

SCALE: 1" = 1'-0"



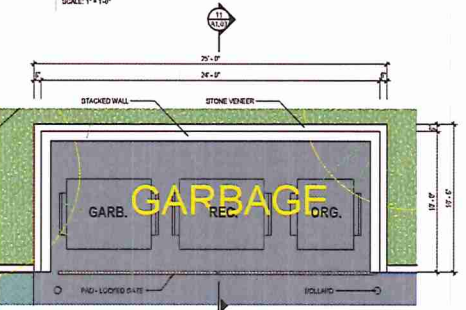
7 ACCESSIBLE PAINTED SYMBOL

SCALE: 1/2" = 1'-0"



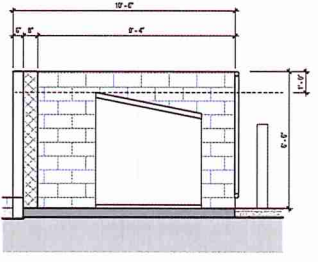
9 FREE STANDING SIGN ELEVATION

SCALE: 3/8" = 1'-0"



10 TYP. GARBAGE ENCLOSURE

SCALE: 1/4" = 1'-0"



11 TYP. GARBAGE ENCLOSURE SECTION

SCALE: 3/8" = 1'-0"

PRELIMINARY NOT FOR CONSTRUCTION

3 2024.115 Released for DP



Larry podhora | architecture inc

PROJECT NAME: OVR INDUSTRIAL DEVELOPMENT

PROJECT ADDRESS: 524 OLD VICTORIA ROAD NAWASO, BC

DRAWING TITLE: SITE DETAILS

SCALE: AS SHOWN

RECEIVED DP1307 2024-MAR-28

A103

RECEIVED DP1307 2024-MAR-28 Client Planning



ADMINISTRATIVE OFFICE
450 - 3877 GRAND AVENUE
VANCOUVER, BC V2D 2E8
P: (604) 681-3371 F: (604) 681-0430
COMMUNICATION OFFICES
COMMUNICATION OFFICES
1100 - 10171 LAUREN AVENUE
VANCOUVER, BC V2N 1K6
P: (604) 270-0100 F: (604) 270-0110
VANDERVOER OFFICE
615 - 2208 WILLOW LANE
VANCOUVER, BC V6M 0G4
P: (604) 274-6462



ABOVE BOARD OFFICE
1025 - 671 BAY STREET
VANCOUVER, BC V6C 2K4
P: (604) 255-8888 F: (604) 255-8899
VANCOUVER OFFICE
1025 - 671 BAY STREET
VANCOUVER, BC V6C 2K4
P: (604) 255-8888 F: (604) 255-8899

ELECTRICAL PROJECT MANAGER
EMMANUEL MENDOZA
EMM.MENDOZA@KDCLTD.COM

NO.	DATE (MM-DD)	DESCRIPTION
3	-	-
2	-	-
1	-	-
ISSUED FOR UTILITIES:		
5	-	-
4	-	-
3	-	-
2	12-06-2023	RESUBMIT FOR DP
1	05-24-2023	ISSUED FOR DP
VALUES & REVISIONS:		

PERMIT STAMP

PERMIT TO PRACTICE
REGISTERED ELECTRICAL CONSULTANT

Signature: [Blank]
ECCO ID: 527917
Date: 2023-12-01
PERMIT NUMBER: P1000901
The Authority of Professional Engineers and Geoscientists of the Province of British Columbia

SEAL:

PROJECT NAME:
OVPR INDUSTRIAL DEVELOPMENT

PROJECT ADDRESS:
824 OLD VICTORIA ROAD
NANAIMO, BC

DRAWING TITLE:
OVERALL SITE PLAN

SCALE: AS NOTED
DRAWN: AA
CHECKED: EM
PROJECT NO: 2023L-E
DRAWING NO: **E100**

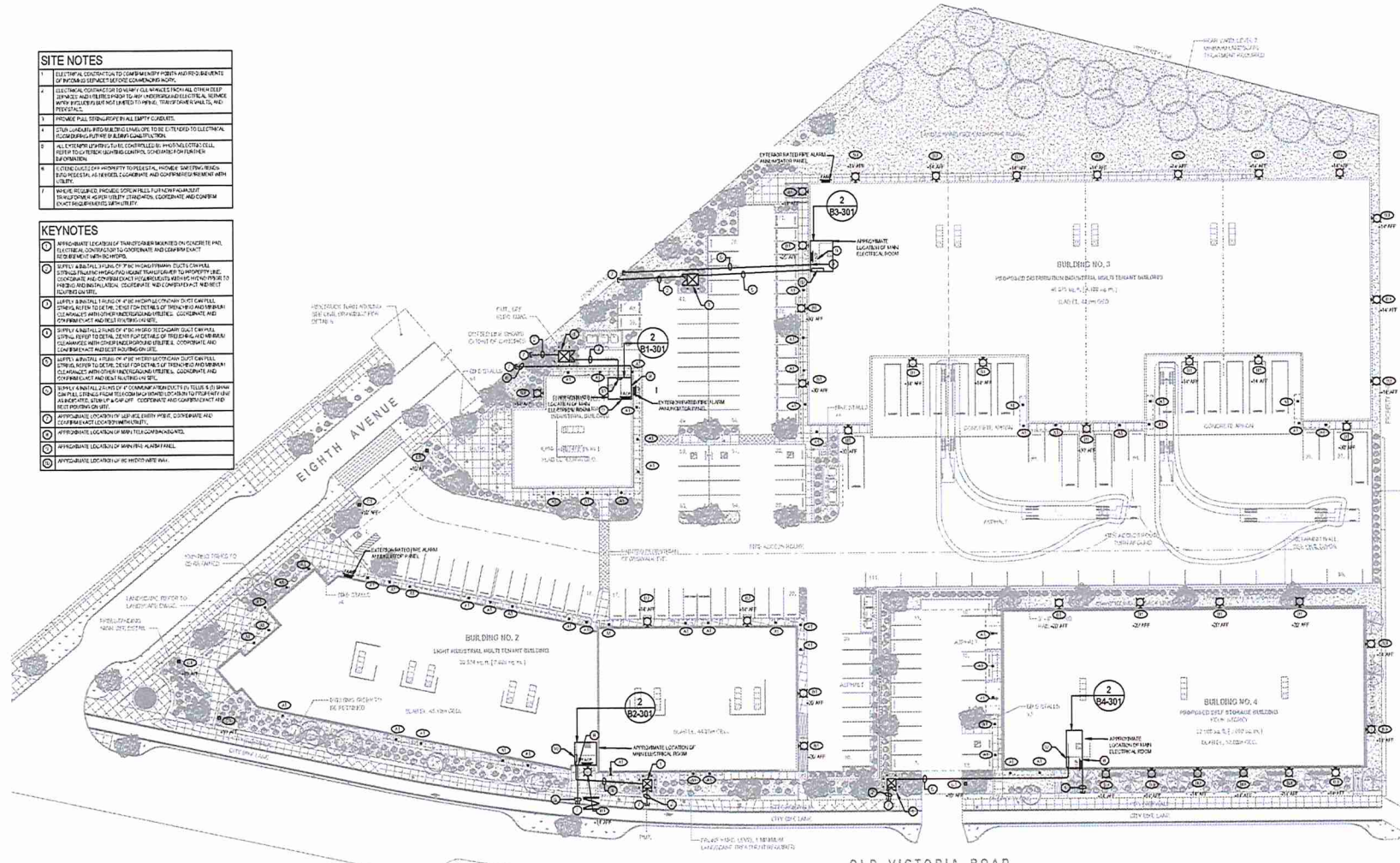
RECEIVED
DP1330
2023-DEC-11

SITE NOTES

- ELECTRICAL CONSTRUCTION TO COMPLY WITH ALL PERMITS AND REQUIREMENTS OF VARIOUS MUNICIPALITIES AND COVENANTS.
- ELECTRICAL CONSTRUCTION TO COMPLY WITH ALL PERMITS AND REQUIREMENTS OF VARIOUS MUNICIPALITIES AND COVENANTS.
- ELECTRICAL CONSTRUCTION TO COMPLY WITH ALL PERMITS AND REQUIREMENTS OF VARIOUS MUNICIPALITIES AND COVENANTS.
- PROVIDE PULL POINTS FOR ALL EMPTY CABLES.
- CONSTANT POTENTIALS TO BE MAINTAINED TO ELECTRICAL SYSTEMS AND TO BE MAINTAINED TO ELECTRICAL SYSTEMS AND TO BE MAINTAINED TO ELECTRICAL SYSTEMS.
- ALL ELECTRICAL SYSTEMS TO BE PROTECTED AGAINST OVERCURRENTS AND TO BE PROTECTED AGAINST OVERCURRENTS AND TO BE PROTECTED AGAINST OVERCURRENTS.
- EXTERNAL LIGHTING TO BE PROVIDED FOR ALL BUILDINGS AND TO BE PROVIDED FOR ALL BUILDINGS AND TO BE PROVIDED FOR ALL BUILDINGS.
- REFER TO RELEVANT SCHEDULES FOR FURTHER REQUIREMENTS AND TO BE PROVIDED FOR ALL BUILDINGS AND TO BE PROVIDED FOR ALL BUILDINGS AND TO BE PROVIDED FOR ALL BUILDINGS.

KEYNOTES

- APPROXIMATE LOCATION OF TRANSFORMER MOUNTED ON CONCRETE PAD, ELECTRICAL CONTRACTOR TO COORDINATE AND OBTAIN EXACT REQUIREMENTS FROM SUPPLIER.
- SUPPLY AND INSTALL ALL OF THE ABOVE TRANSFORMER EQUIPMENT INCLUDING ALL ACCESSORIES AND COMPONENTS TO SUPPORT THE EQUIPMENT AND TO BE PROVIDED FOR ALL BUILDINGS AND TO BE PROVIDED FOR ALL BUILDINGS AND TO BE PROVIDED FOR ALL BUILDINGS.
- SUPPLY AND INSTALL ALL OF THE ABOVE TRANSFORMER EQUIPMENT INCLUDING ALL ACCESSORIES AND COMPONENTS TO SUPPORT THE EQUIPMENT AND TO BE PROVIDED FOR ALL BUILDINGS AND TO BE PROVIDED FOR ALL BUILDINGS AND TO BE PROVIDED FOR ALL BUILDINGS.
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- APPROXIMATE LOCATION OF ALL NEAREST PUBLIC CONDUIT AND COORDINATE WITH ALL NEAREST PUBLIC CONDUIT AND COORDINATE WITH ALL NEAREST PUBLIC CONDUIT.
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LUMINAIRE SCHEDULE

NO.	SYMBOL	DESCRIPTION	MANUFACTURER	MODEL NO.	WATTAGE	TYPE	Notes
01	(Symbol)	RECURRING BUILT-IN DOWN LIGHT	OSRAM	401	150W	MR16	
02	(Symbol)	RECURRING BUILT-IN DOWN LIGHT	OSRAM	401	150W	MR16	
03	(Symbol)	RECURRING BUILT-IN DOWN LIGHT	OSRAM	401	150W	MR16	
04	(Symbol)	RECURRING BUILT-IN DOWN LIGHT	OSRAM	401	150W	MR16	
05	(Symbol)	RECURRING BUILT-IN DOWN LIGHT	OSRAM	401	150W	MR16	
06	(Symbol)	RECURRING BUILT-IN DOWN LIGHT	OSRAM	401	150W	MR16	
07	(Symbol)	RECURRING BUILT-IN DOWN LIGHT	OSRAM	401	150W	MR16	
08	(Symbol)	RECURRING BUILT-IN DOWN LIGHT	OSRAM	401	150W	MR16	
09	(Symbol)	RECURRING BUILT-IN DOWN LIGHT	OSRAM	401	150W	MR16	
10	(Symbol)	RECURRING BUILT-IN DOWN LIGHT	OSRAM	401	150W	MR16	
11	(Symbol)	RECURRING BUILT-IN DOWN LIGHT	OSRAM	401	150W	MR16	
12	(Symbol)	RECURRING BUILT-IN DOWN LIGHT	OSRAM	401	150W	MR16	
13	(Symbol)	RECURRING BUILT-IN DOWN LIGHT	OSRAM	401	150W	MR16	
14	(Symbol)	RECURRING BUILT-IN DOWN LIGHT	OSRAM	401	150W	MR16	
15	(Symbol)	RECURRING BUILT-IN DOWN LIGHT	OSRAM	401	150W	MR16	
16	(Symbol)	RECURRING BUILT-IN DOWN LIGHT	OSRAM	401	150W	MR16	
17	(Symbol)	RECURRING BUILT-IN DOWN LIGHT	OSRAM	401	150W	MR16	
18	(Symbol)	RECURRING BUILT-IN DOWN LIGHT	OSRAM	401	150W	MR16	
19	(Symbol)	RECURRING BUILT-IN DOWN LIGHT	OSRAM	401	150W	MR16	
20	(Symbol)	RECURRING BUILT-IN DOWN LIGHT	OSRAM	401	150W	MR16	

1 E100 SITE PLAN - LIGHTING LEVEL

02 LUMINAIRE E101

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